

ADDRESS:	6650 McGinnis Ferry Road	
CURRENT ZONING:	C-1*CONDITIONAL	
PROPOSED ZONING:	4.777	
ACREAGE:	40' from both roads	
BUILDING SETBACKS:		
LANDSCAPE STRIPS:	McGINNIS:	20'
PLANTING STRIP:	JOHNS CREEK:	6'
LANDSCAPE STRIP:	INTERNAL:	10'
BUILDABLE AREA:	3.247 ACRES(88%)	
UNBUILDABLE AREA:	1.530 ACRES(32%)	
PARKING DATA:	TOTAL REQUIRED:	162 SPACES
	TOTAL PROVIDED:	171.00 SPACES (4 EV INCLUDED)
BIKE SPACES:	TOTAL SPACES:	7 SPACES PROVIDED

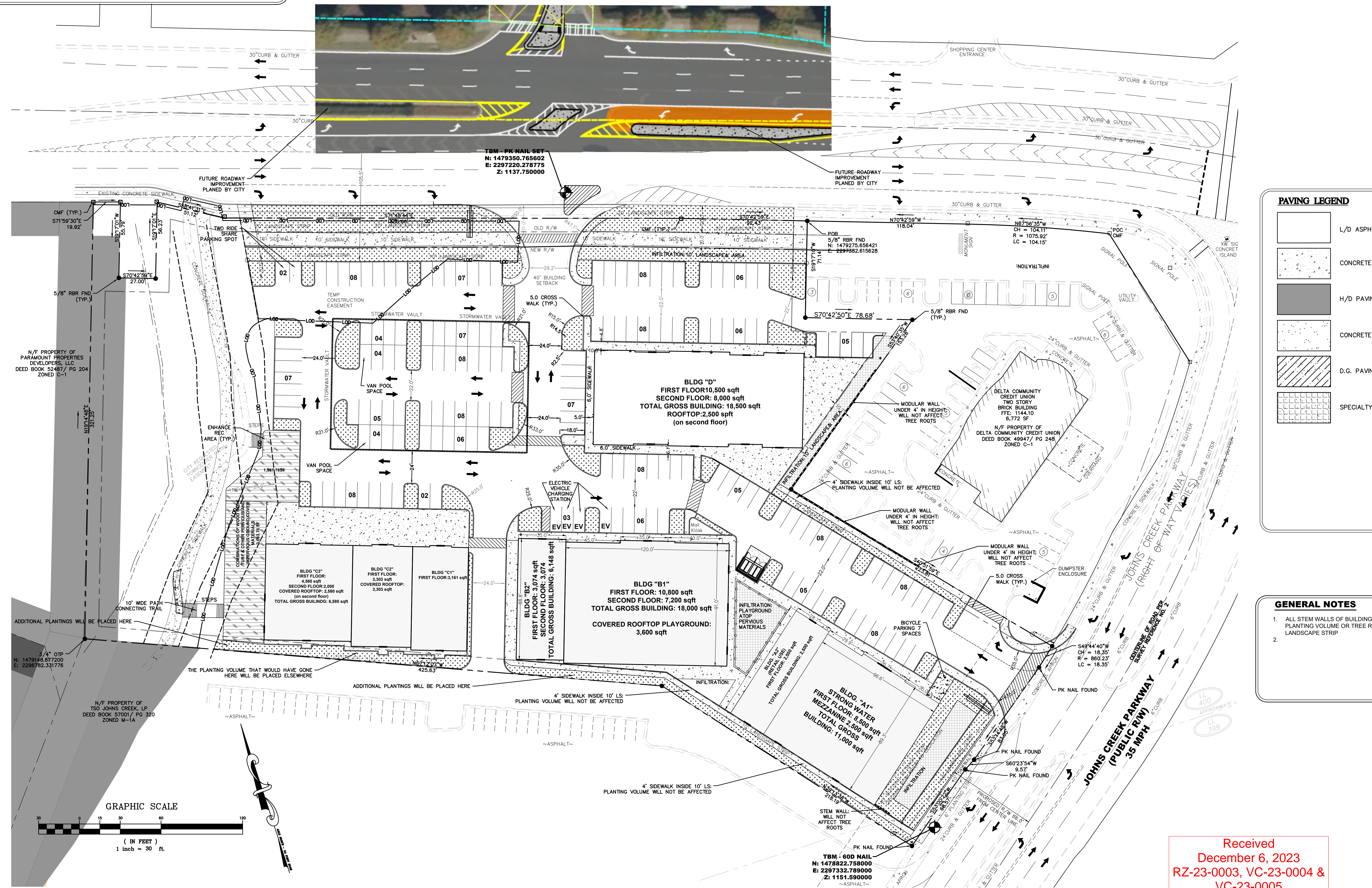
BUILDING	USE	PARKING SPACE RATIO	GROSS SF	MIN REQUIRED	
A1	RETAIL	1 PER 500 SF	11,000	22.00	
A2	RETAIL	1 PER 500 SF	2,500	5.00	
B1	DAYCARE	1 PER 500 SF	18,500	36.00	
B2	MEDICAL	3 PER 1,000 SF	6,148	19.00	
C1	MEDICAL	3 PER 1,000 SF	3,161	10.00	
C2	RESTAURANT	1 PER 500 SF	6,806	14.00	
C3	RESTAURANT	1 PER 500 SF	9,160	19.00	
D	RETAIL	1 PER 500 SF	18,500	37	
				TOTAL REQUIRED	162
				110% OF REQUIRED	178.2
				TOTAL PROVIDED	171
EXCESS/PERVIOUS REQUIRED				0 EXCESS/PERVIOUS PROVIDED	0

STORMWATER MANAGEMENT

- RUNOFF REDUCTION WILL BE ACHIEVED WITH A COMBINATION OF VARIOUS INFILTRATION METHODS PER THE GEORGIA BLUE BOOK STORMWATER MANUAL INCLUDING RAIN HARVESTING, INFILTRATION TRENCHES, AND POTENTIALLY OTHERS AS ALLOWED.
- DETENTION WILL BE ACHIEVED USING AN ONSITE-BUILT VAULT MADE WITH Poured CONCRETE WALLS AND PRECAST CONCRETE PLANKS.

IDENTIFIER	BUILDING USE	FIRST FL SQFT	SECOND FL SQFT	MEZZ SQFT	Occupied Roof Top
BLDG A1	RETAIL(STRONG WATER)	8,500	N/A	2,500	0
BLDG A2	RETAIL	2,500	0	0	0
BLDG B1	DAYCARE(LUMA)	10,800	7,200	0	3600
BLDG B2	MEDICAL OFFICE(LUMA AU)	3,074	3,074	0	0
BLDG C1	MEDICAL OFFICE	3,161			
BLDG C2	BRUNCH BAR	3,303	N/A	0	3,303
BLDG C3	BRU FOUNDARY	4,580	2,000	0	2580
BLDG D	RETAIL	10,500.00	8,000		2500
TOTAL		46,438	20,274	2,500	11,983
TOTAL BLDG SQFT: INCLUDING FIRST FLOOR, SECOND FLOOR AND MEZZ		69,192			

TYPE	CCO MEASUREMENT TABLE	POINTS FROM TYPE	DESCRIPTION OF TYPE	POINTS CLAIMED
BUILDING ENERGY EFFICIENCY	2 POINTS		New construction will employ "Smart Technology" such as lights on motion sensors, use of LED bulbs, and improved building LTR (Long Term Thermal Resistance) which will increase the roof assembly R-value for instance.	2
BUILDING WATER EFFICIENCY	2 POINTS		The goal is to use 35% less water by using low flow plumbing fixtures and capturing roof run-off into underground cisterns which can be used to irrigate landscaping.	2
SUSTAINABLE LANDSCAPING	1 POINT		Reduce potable water by using reclaimed roof run-off water for irrigating landscaping. NOT include invasive species of vegetation, and specifying local indigenous species that require less water, i.e. Xeriscaping.	1
HEAT ISLAND REDUCTION	2 POINTS		Minimum Requirements. Use any combination of the following strategies for 35% of all on-site, non-roof hardscape areas, including sidewalks, plazas, courtyards, parking lots, parking structures, and driveways: a. Tree Canopy Cover: Coverage of the surface at canopy tree maturity in 15 years. b. Solar reflective paving and roofing with a SR (solar reflectance index) of at least 29.	2
TRANSPORTATION DEMAND	2 TO 3 POINTS		AC AND D: Flex-time work schedules to avoid congestion during peak times, Free ride home in case of emergency. Transit passes will be provided for Employees.	2
ALTERNATIVE TRANSPORTATION	1 POINT		Develop on-site programs for Car-pooling and Ride-sharing.	1
		TOTAL POINTS PROVIDED:		10
		TOTAL POINTS REQUIRED:		10



[Symbol]	L/D ASPHALT
[Symbol]	CONCRETE PAVING
[Symbol]	H/D PAVING
[Symbol]	CONCRETE S/W
[Symbol]	D.G. PAVING
[Symbol]	SPECIALTY PAVING

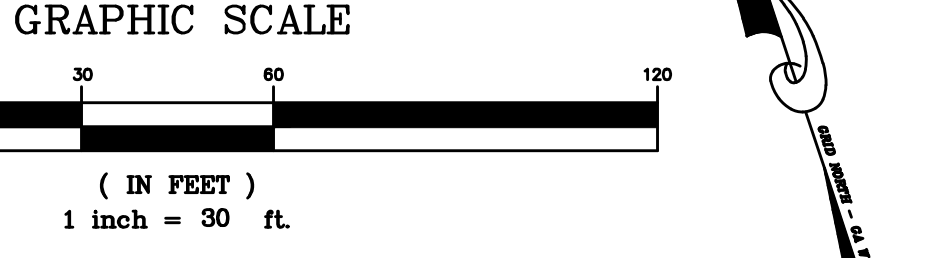
GENERAL NOTES

- ALL STEM WALLS OF BUILDINGS WILL NOT AFFECT PLANTING VOLUME OR TREE ROOTS IN THE ADJOINING LANDSCAPE STRIP
-

E-SEAL AND SIGNATURE
E-SEALED:

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#	DATE	REVISION DESCRIPTION	BY



Received
December 6, 2023
RZ-23-0003, VC-23-0004 &
VC-23-0005
Planning & Zoning

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