

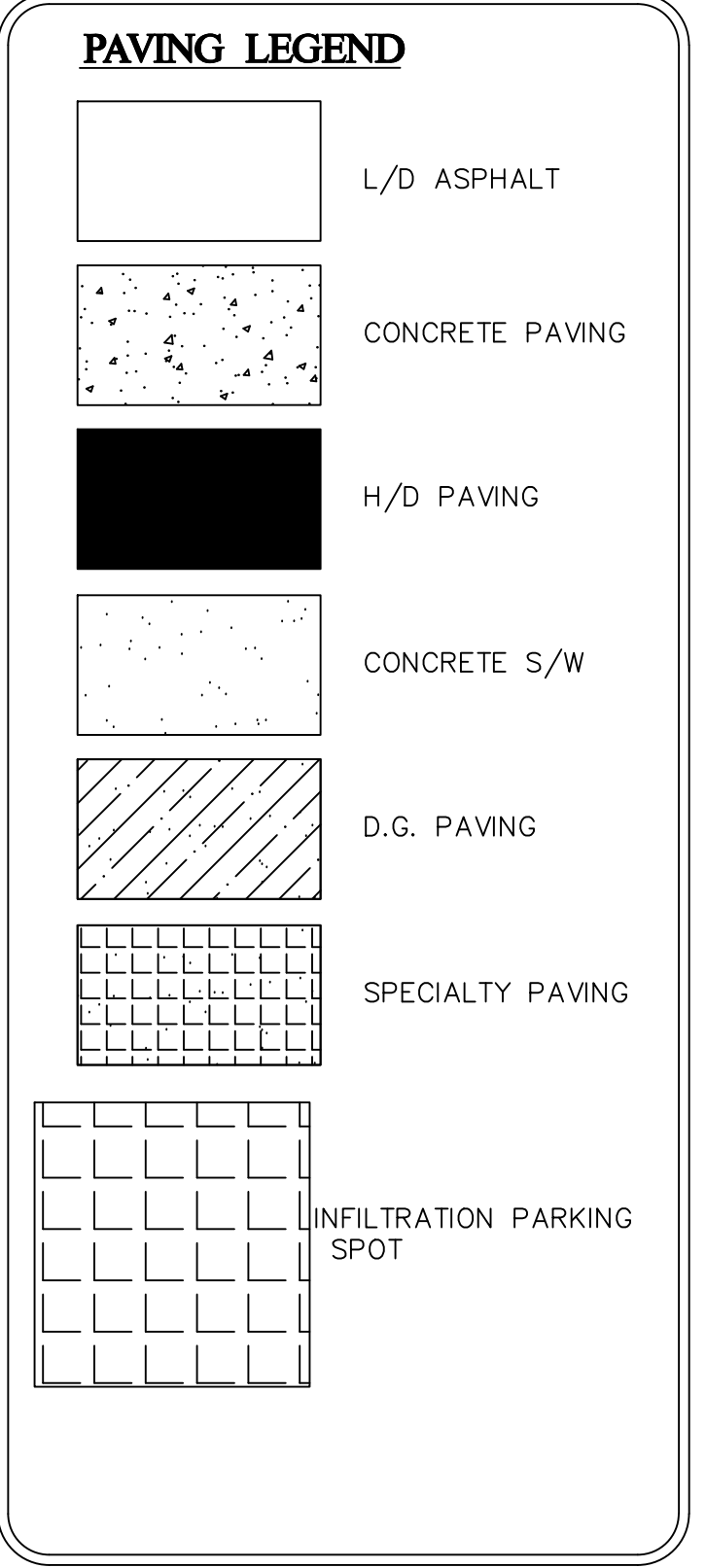
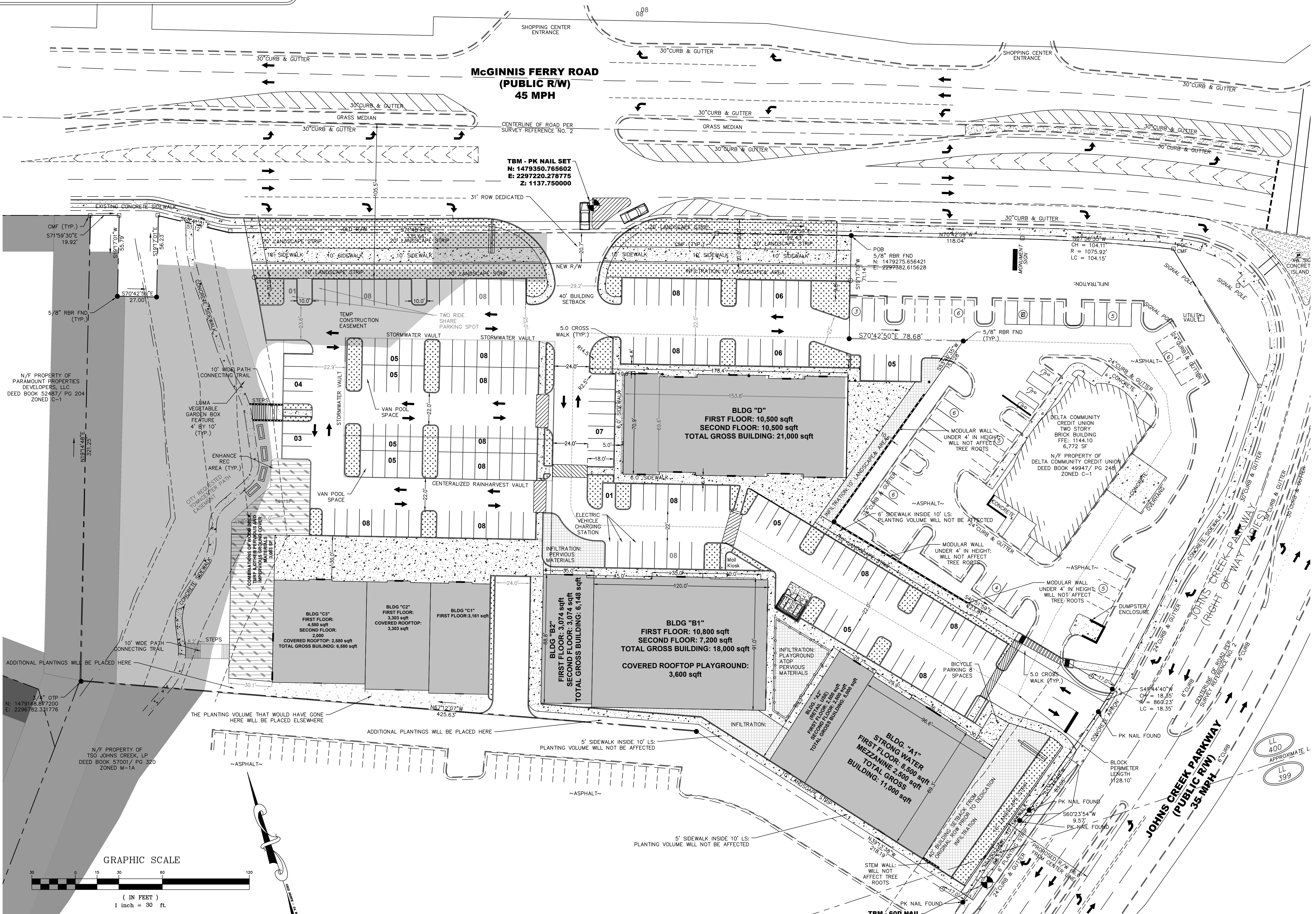
SITE DATA SUMMARY TABLE
ADDRESS: 6650 McGinnis Ferry Road
CURRENT ZONING: C-1
PROPOSED ZONING: C-1 MODIFIED
ACREAGE: 4.777
BUILDING SETBACKS: 40' FROM BOTH ROADS
LANDSCAPE STRIPS: MCGINNIS: 20' & 10' SEPARATED BY A 10' SIDEWALK
JOHNS CREEK: 8' & 10' SEPARATED BY A 10' SIDEWALK
INTERNAL: 10'

PARKING TABLE
BUILDING USE: A1 (RETAIL), A2 (RETAIL), B1 (DAYCARE), B2 (MEDICAL), C1 (MEDICAL), C2 (RESTAURANT), C3 (RESTAURANT), D (RETAIL)
PARKING SPACE RATIO: 1 PER 500 SF
GROSS SF: 11,000, 5,000, 18,000, 6,148, 3,161, 3,303, 6,580, 21,000
MIN REQUIRED: 22.00, 10.00, 36.00, 18.44, 6.20, 9.00, 23.15, 42
TOTAL REQUIRED: 166.79=167
TOTAL PROVIDED: 171

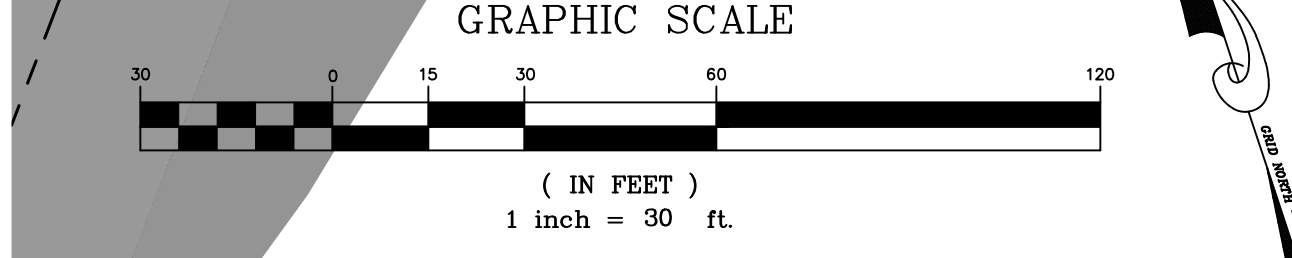
STORMWATER MANAGEMENT
1. RUNOFF REDUCTION WILL BE ACHIEVED WITH A COMBINATION OF VARIOUS INFILTRATION METHODS PER THE GEORGIA BLUE BOOK STORMWATER MANUAL INCLUDING RAIN HARVESTING, INFILTRATION TRENCHES, AND POTENTIALLY OTHERS AS ALLOWED.
2. DETENTION WILL BE ACHIEVED USING AN ONSITE-BUILT VAULT MADE WITH Poured concrete walls and PRECAST CONCRETE PLANKS.
3. RAIN HARVESTING WILL BE ACHIEVED BY COLLECTING AND ROUTING BUILDING ROOF WATER TO A CENTRALIZED VAULT AND INFILTRATED BY USING THE WATER IN THE IRRIGATION SYSTEM.

BUILDING GROSS SUMMARY
IDENTIFIER: BLDG A1, BLDG A2, BLDG B1, BLDG B2, BLDG C1, BLDG C2, BLDG C3, BLDG D, TOTAL
BUILDING USE: RETAIL (STRONG WATER), RETAIL, DAYCARE (LUMA), MEDICAL OFFICE (LUMA AU), MEDICAL OFFICE, BRUNCH BAR, BRU FOUNDRY, RETAIL
FIRST FL SF: 8,500, 2,500, 10,800, 3,074, 3,161, 3,303, 4,580, 10,500, 46,418
SECOND FL SF: N/A, 2,500, 7,200, 3,074, N/A, N/A, 2,000, 10,500, 74,192
MEZZ SF: 0, 0, 0, 0, 0, 0, 0, 0, 0
Occupied Roof Top: 0, 0, 3600, 0, 0, 2580, 0, 0, 9,483

ECHO MEASUREMENT TABLE
TYPE: BUILDING ENERGY EFFICIENCY, BUILDING WATER EFFICIENCY, SUSTAINABLE LANDSCAPING, ADDITIONAL CIVIC SPACE, TRANSPORTATION DEMAND, ALTERNATIVE TRANSPORTATION
POINTS FROM TYPE: 2, 2, 1, 1 TO 5, 2 TO 3, 1
POINTS CLAIMED: 2, 2, 1, 5, 2, 1
TOTAL POINTS PROVIDED: 13
TOTAL POINTS REQUIRED: 13



GENERAL NOTES
1. ALL STEM WALLS OF BUILDINGS WILL NOT AFFECT PLANTING VOLUME OR TREE ROOTS IN THE ADJOINING LANDSCAPE STRIP
2.



E-SEAL AND SIGNATURE E-SEALED:



Table for # DATE REVISION DESCRIPTION BY

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CALCULATIONS

Total Area: 4.777ac < 5ac

Civic Space + Amenity Space = 15%

(4.77ac * 0.15) = 0.07155 ac

0.07155 ac = 31,167.18 sf

Amenity + Civic Space Required 31,167.18 sf (15%)

Amenity + Civic Space Provided 46,589 sf (22.42%)

12.3.6. Open Space.
12.3.6.1. Minimum Requirement.
 A. New developments shall provide civic space and amenity space in accordance with the table below:

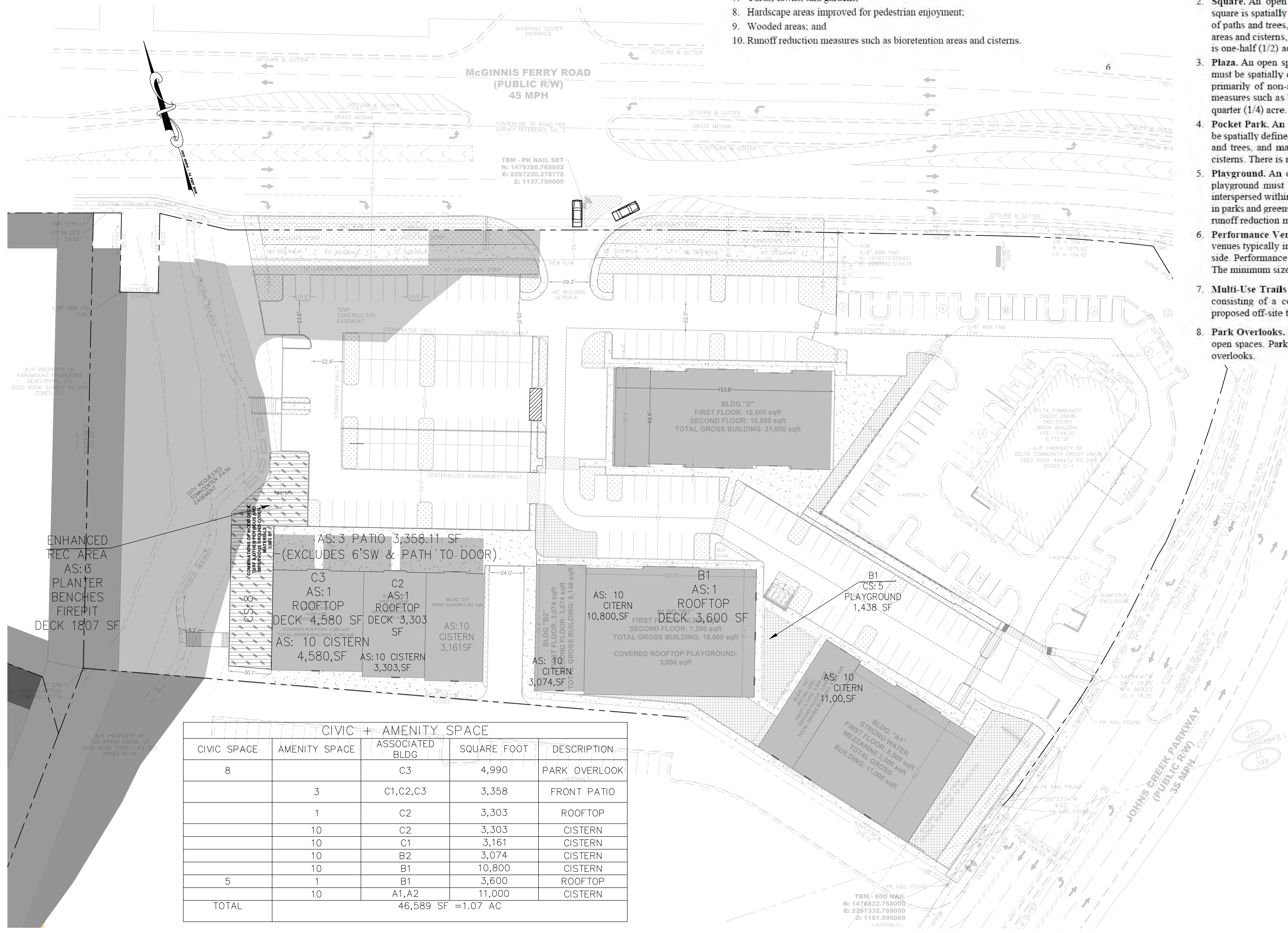
Uses	City's Ordinance 2 Acres	Minimum Open Space Requirement
Residential (density of 10 units/acre or less)	Amenity Space: 5% Civic Space: 10%	
Residential (density of more than 10 units/acre)	Amenity Space: 5% Civic Space: 10% + 0.2% for each 1 unit/acre over 10 units/acre	
Non-Residential	Amenity Space: 5% Civic Space: 10%	

Amenity Space. Outdoor areas of at least 100 square feet each (except for balconies) for use by the occupants, invitees and guests of the development and specifically excluding Civic Spaces and required sidewalks. Each amenity area approved must function as an amenity area. Above-ground cisterns design and appearance shall require approval by the Community Development Director. Amenity spaces include but are not limited to the following types:

1. Rooftop decks;
2. Balconies;
3. Patios and porches;
4. Outdoor dining areas;
5. Pool areas;
6. Tennis courts, basketball courts, and similar uses;
7. Yards, lawns, and gardens;
8. Hardscape areas improved for pedestrian enjoyment;
9. Wooded areas; and
10. Runoff reduction measures such as bioretention areas and cisterns.

Civic Space. The portion of open space for public use defined by the combination of certain physical constants including the relationships among their intended use, their size, their landscaping, and their adjacent buildings. Each civic space approved must be usable for civic purposes. Above-ground cisterns design and appearance shall require approval by the Community Development Director. Civic spaces include, but are not limited to, the following types:

1. **Park.** An open space available for structured or unstructured recreation. A park may be independent of surrounding buildings at its edges. Its landscape may consist of paths and trails, meadows and lawns, water bodies, runoff reduction measures such as bioretention areas, swales, cisterns, and woodlands. Recreation fields and courts may also be included. The minimum size for a park is one (1) acre.
2. **Square.** An open space available for unstructured recreation and civic purposes. A square is spatially defined by buildings or streets at its edges. Its landscape must consist of paths and trees, and may also include runoff reduction measures such as bioretention areas and cisterns, lawns and non-asphalt paved surfaces. The minimum size for a square is one-half (1/2) acre.
3. **Plaza.** An open space, available for civic purposes and commercial activities. A plaza must be spatially defined by buildings or streets at its edges. Its landscape must consist primarily of non-asphalt paved surfaces and trees, and may include runoff reduction measures such as bioretention areas and cisterns. The minimum size for a plaza is one-quarter (1/4) acre.
4. **Pocket Park.** An open space, available for unstructured recreation. A pocket park may be spatially defined by buildings or streets at its edges. Its landscape must consist of lawn and trees, and may include runoff reduction measures such as bioretention areas and cisterns. There is no minimum size for pocket parks.
5. **Playground.** An open space designed and equipped for the recreation of children. A playground must be fenced and may include an open shelter. Playgrounds must be interspersed within residential areas, may be placed within a block, and may be included in parks and greens. There is no minimum size for playgrounds. Playgrounds may include runoff reduction measures such as bioretention and underground detention.
6. **Performance Venues.** An open space available for outdoor performance. Performance venues typically include a stage surrounded by formal or informal seating on at least one side. Performance venues may have a combination of landscaped and hardscaped areas. The minimum size for a performance venue is one-half (1/2) acre.
7. **Multi-Use Trails with Potential Connections to Offsite Trails.** A linear open space consisting of a conforming multi-use trail that includes a connection to existing or proposed off-site trails. There is no minimum size for this type of open space.
8. **Park Overlooks.** An open space primarily intended for the viewing of parks and other open spaces. Park overlooks must include seating. There is no minimum size for park overlooks.



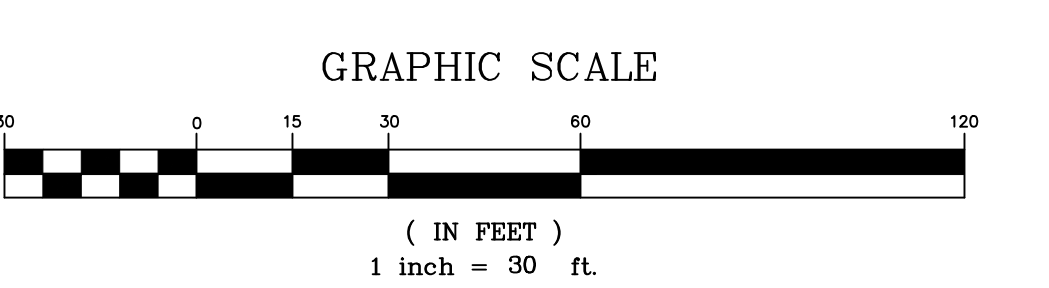
CIVIC + AMENITY SPACE				
CIVIC SPACE	AMENITY SPACE	ASSOCIATED BLDG	SQUARE FOOT	DESCRIPTION
8		C3	4,990	PARK OVERLOOK
	3	C1,C2,C3	3,358	FRONT PATIO
	1	C2	3,303	ROOFTOP
	10	C2	3,303	CISTERN
	10	C1	3,161	CISTERN
	10	B2	3,074	CISTERN
	10	B1	10,800	CISTERN
	1	B1	3,600	ROOFTOP
TOTAL	10	A1,A2	11,000	CISTERN
			46,589 SF = 1.07 AC	

E-SEAL AND SIGNATURE
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#	DATE	REVISION DESCRIPTION	BY

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CreekView Print Out

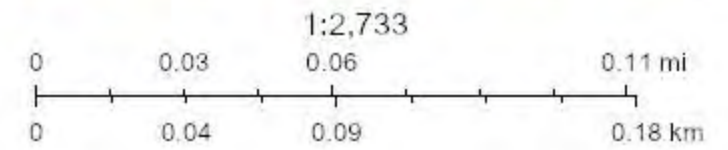


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Stormwater Structures

-  Water Collection: Catch basins & Inlets
-  Water Infiltration: Special/Underground Structures
-  Water Storage: Open &/or Wet Ponds
-  Water Transport: Bridges, Culverts & Flumes
-  Water Release: Control Structures, Outlets & Headwalls
-  (unknown structure type)
-  Fulton Co. - Manholes
-  Fulton Co. - Water
-  8
-  10
-  12
-  16
-  Topo/Contour 2ft
-  Index Contour
-  Regular Contour

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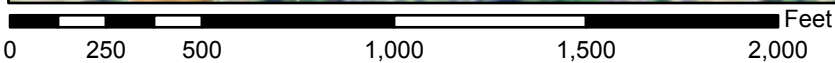
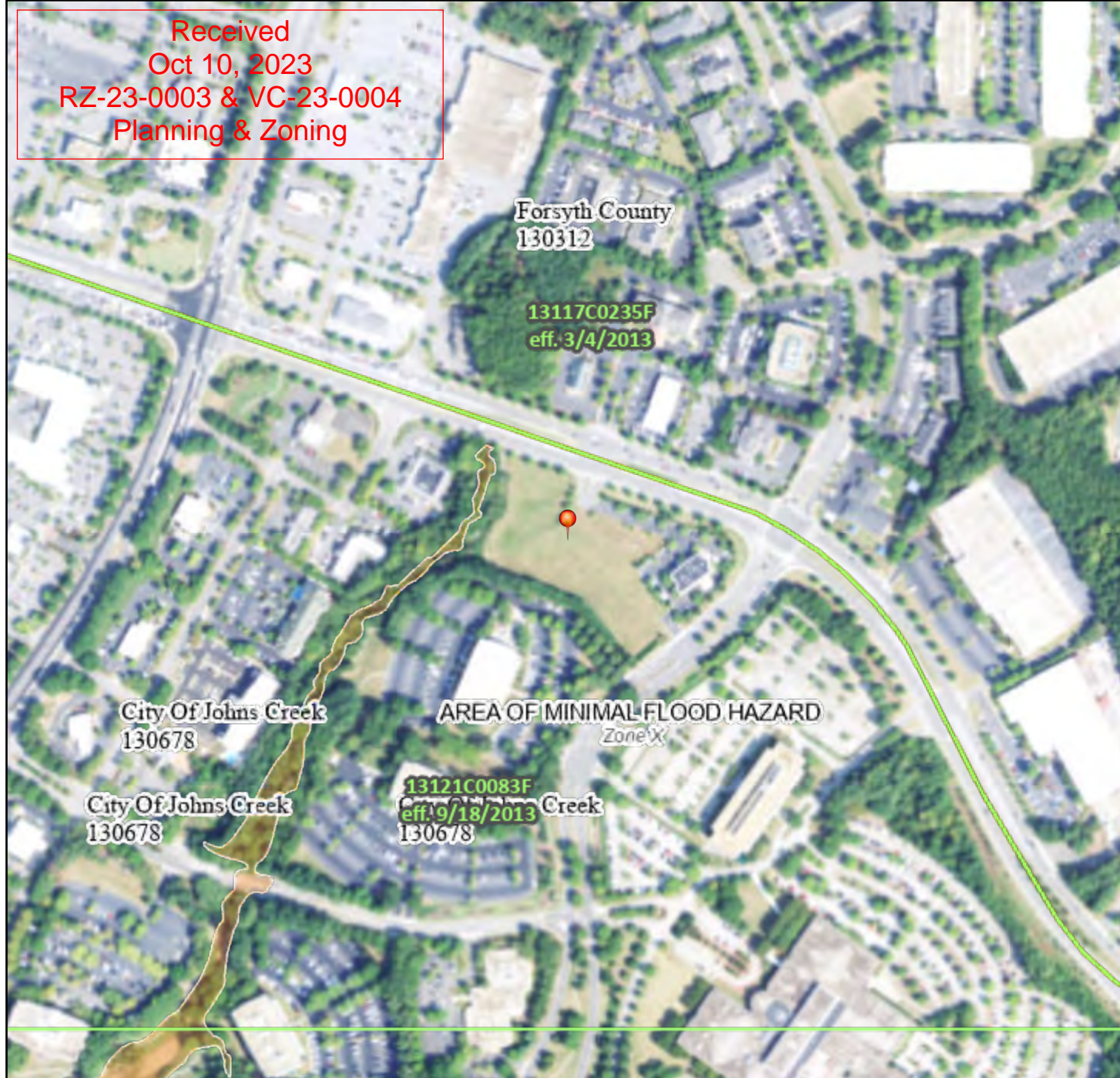
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National Flood Hazard Layer FIRMette



84°10'12"W 34°4'13"N

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1:6,000

84°9'35"W 34°3'44"N

Basemap Imagery Source: USGS National Map 2023

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) <i>Zone A, V, A99</i>
		With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i>
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i>
		Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i>
		Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i>
		Area with Flood Risk due to Levee <i>Zone D</i>
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i>
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard <i>Zone D</i>
		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance
		17.5 Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
MAP PANELS		Jurisdiction Boundary
		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature
		Digital Data Available
		No Digital Data Available
		Unmapped



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

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