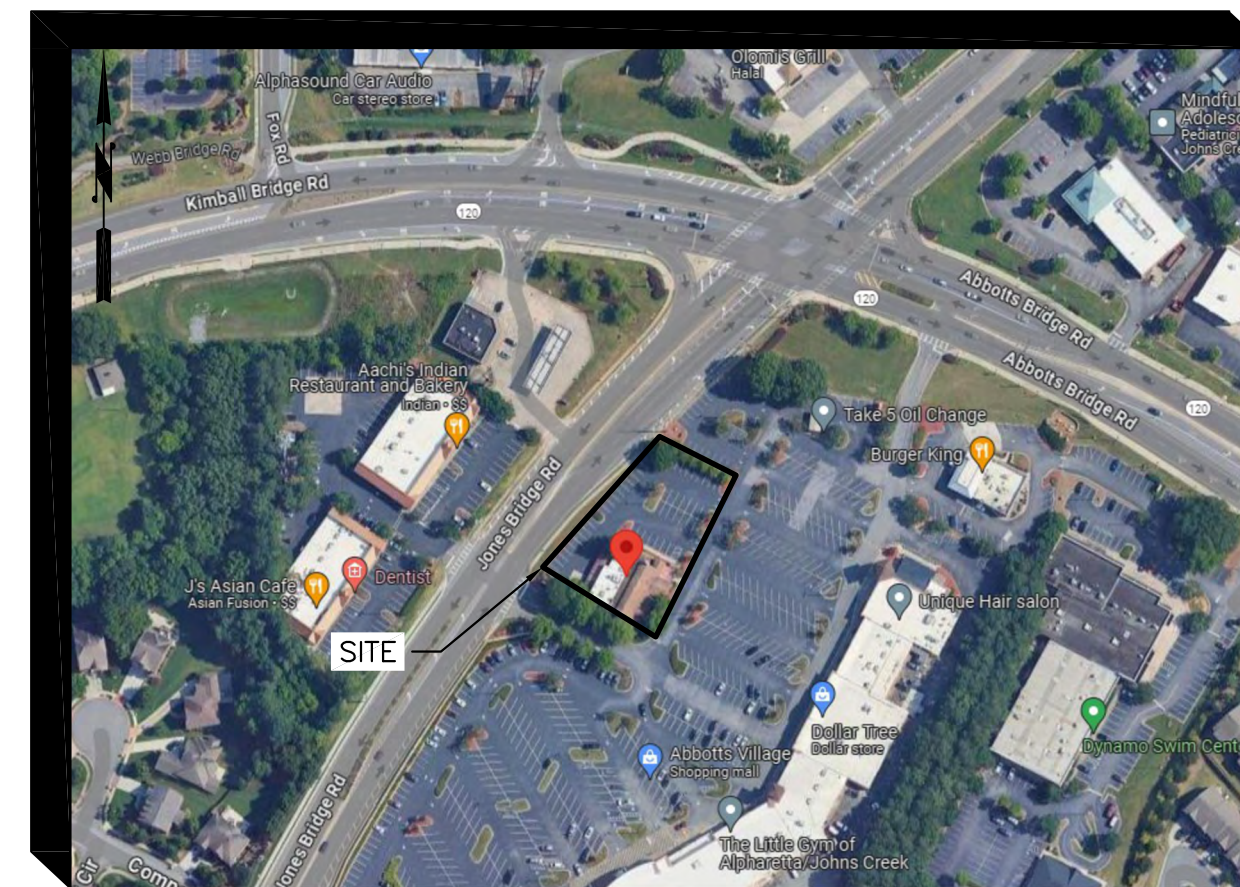


DUNKIN'

11605 JONES BRIDGE ROAD

JOHNS CREEK, GA 30022

FULTON COUNTY



LOCATION MAP
NOT TO SCALE

DWG. NO.	DESCRIPTION	REVISIONS					
		1	2	3	4	5	6
	COVER SHEET						
C-1.0	TOPOGRAPHIC SURVEY						
C-2.0	DEMOLITION PLAN						
C-2.1	SITE PLAN						
C-3.0	LAYOUT PLAN						
C-3.0	CONCEPTUAL GRADING PLAN						
C-4.0	UTILITY PLAN						
	EXHIBITS:						
	USGS TOPO WITHIN 200'						
	BUILDING HEIGHT & SF WITHIN 400'						
	BUILDING ELEVATIONS						
	BUILDING FLOOR PLAN						

National Flood Hazard Layer FIRMette



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS

- Without Base Flood Elevation (BFE) Zone X, AE, AH, AR
- With BFE or Depth Zone AE, AD, AM, VE, AR
- Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD

- 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
- Future Conditions 1% Annual Chance Flood Hazard Zone X
- Area with Reduced Flood Risk due to Levee. See Notes. Zone X
- Area with Flood Risk due to Levee Zone D
- NO SCREEN Area of Minimal Flood Hazard Zone X
- Effective LOMRs
- Area of Undetermined Flood Hazard Zone D

OTHER AREAS

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

GENERAL STRUCTURES

- Cross Sections with 1% Annual Chance Water Surface Elevation
- Coastal Transect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Feature

OTHER FEATURES

- Digital Data Available
- No Digital Data Available
- Unmapped

MAP PANELS

- The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 4/1/2024 at 11:15 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

DEVELOPER

MG RETAIL ADVISORS

3390 PEACHTREE ROAD, #1000
ATLANTA, GA 30326
24-HOUR CONTACT
JAMES LASKARIS
(772)-260-7055

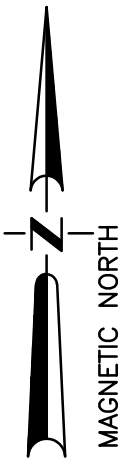
AXIS
INFRASTRUCTURE

70 MANSELL COURT, SUITE 200
ROSWELL, GEORGIA 30076
PHONE: (678) 395-4920

Received
May 7, 2024
RZ-24-0005
Planning & Zoning

NO.	DATE	REVISIONS	
		COMMENTS	
0	05/01/24	REZONING APPLICATION	
1			
2			
3			
4			
5			
6			

GEORGIA REGISTERED PROFESSIONAL ENGINEER
No. PE30000
Tessa M. Curry
05/01/2024
DATE



LEGEND

R/W	RIGHT OF WAY	FES	FLARED END SECTION
WM	WATER METER	JB	JUNCTION BOX
B/L	BUILDING LINE	HW	HEADWALL
P	PROPERTY LINE	C	CENTER LINE
F	FIRE HYDRANT	D	DRAINAGE DIRECTION
V	VALVE	H	HOUSE NUMBER
W	WATER MAIN	IPF	IRON PIN FOUND
MH	MANHOLE	IP	IRON PIN SET
S	SEWER LINE	E	ELECTRIC POWER
DE	DRAINAGE EASEMENT	R	RADIUS OF CURVATURE
SE	SEWER EASEMENT	CB	DOUBLE WING CATCH BASIN
G	GAS LINE	SW	SINGLE WING CATCH BASIN
PP	POWER POLE	PP	POWER POLE
N&C	NAIL IN CAP	A	ARC OF CURVE
LP	LIGHT POLE	INV	INVERT
EE	EXISTING ELEVATION	DI	DROP INLET
RB	REBAR	PE	PROPOSED ELEVATION
O.T.P.	OPEN TOP PIPE	POB	POINT OF BEGINNING

REVISIONS	
NO.	DESCRIPTION

DIVERSIFIED TECHNICAL GROUP, L.L.C.
 LAND SURVEYORS - LAND PLANNERS
 Land Surveying Firm License# 567
 2700 BRASELTON HIGHWAY
 SUITE 200-43030019
 Dacula, GA 30019
 PH: 770-614-7095
 EMAIL: DtgSurvey@aol.com

Total Area:
 33,413 SQ. FT
 0.76 ACRES

SUBJECT PARCEL
 11605 JONES BRIDGE ROAD
 NOW OR FORMERLY
 SUSO 4 ABBOTTS LP
 DEED BOOK 56193, PAGE 399
 PIN: 11 055101980291
 ZONED C1

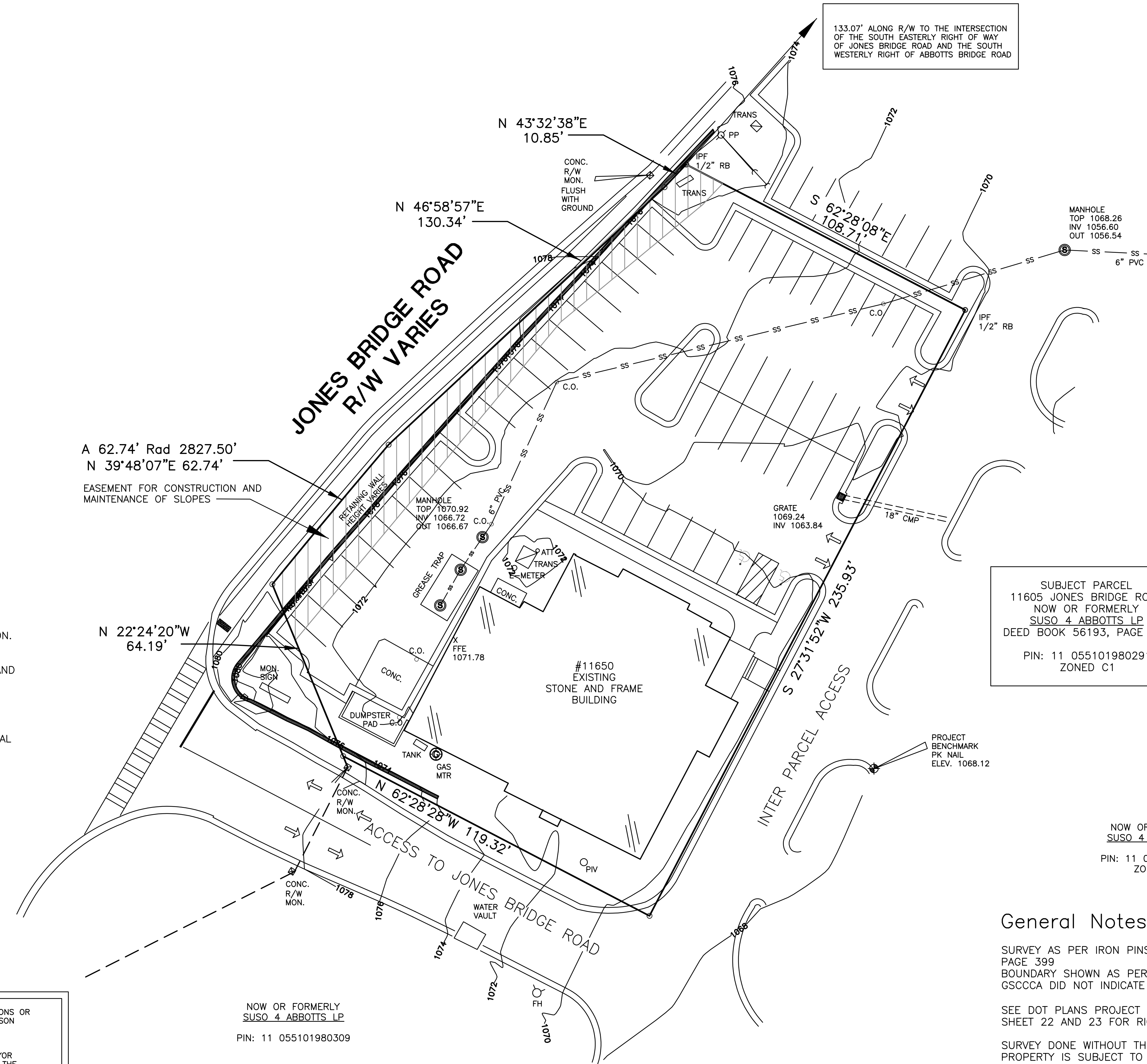
Received
 May 7, 2024
 RZ-24-0005
 Planning & Zoning



Boundary As-Built
11605 Jones Bridge Rd
 LAND LOTS(S): 198 DISTRICT: 1 SECTION: 1
 CITY OF JOHNS CREEK
 FULTON COUNTY, GEORGIA

DATE	DRAWN	CHECKED
2/16/24	J.S.S.	J.S.S.
SCALE 1" = 20'		
SHEET TITLE		
Boundary As-Built		

PROJECT NUMBER
24111
1
DRAWING NUMBER



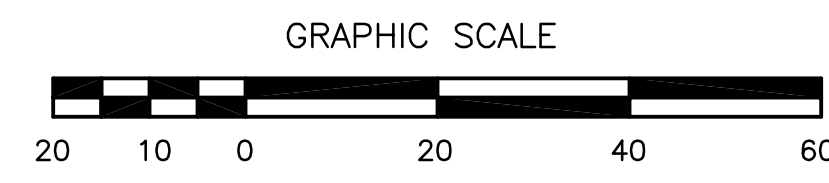
SURVEY DATA.
 95% OF THE DATA SHOWN FOR THIS PLAT WAS OBTAINED UTILIZING GPS. IT INCLUDES ALL HORIZONTAL AND VERTICAL CONTROL POINT INFORMATION. THE EQUIPMENT USED TO OBTAIN THIS DATA WAS A CARLSON BRX7 WITH A CARLSON RT4 TABLET AND A TOPCOM GT 1003 ROBOTIC TOTAL STATION. THE TECHNIQUE WAS RTK CORRECTED MEASUREMENTS. THE RELATIVE POSITIONAL ACCURACY OBTAINED ON THE POINTS UTILIZED ON THIS SURVEY WERE 0.06 FEET HORIZONTALLY AND 0.03 VERTICALLY AT THE 95% CONFIDENCE LEVEL.
 FIELD WORK COMPLETED ON FEBRUARY 14, 2024
 SURVEY BEARINGS WERE ROTATED TO GEORGIA WEST STATE PLANE COORDINATE SYSTEM USING 1983 DATUM AND VERTICAL DATUM OF 1988.
 THIS PLAT HAS BEEN CALCULATED FOR PRECISION AND WAS FOUND TO BE ACCURATE WITHIN 1 FOOT IN 53,145 FEET.

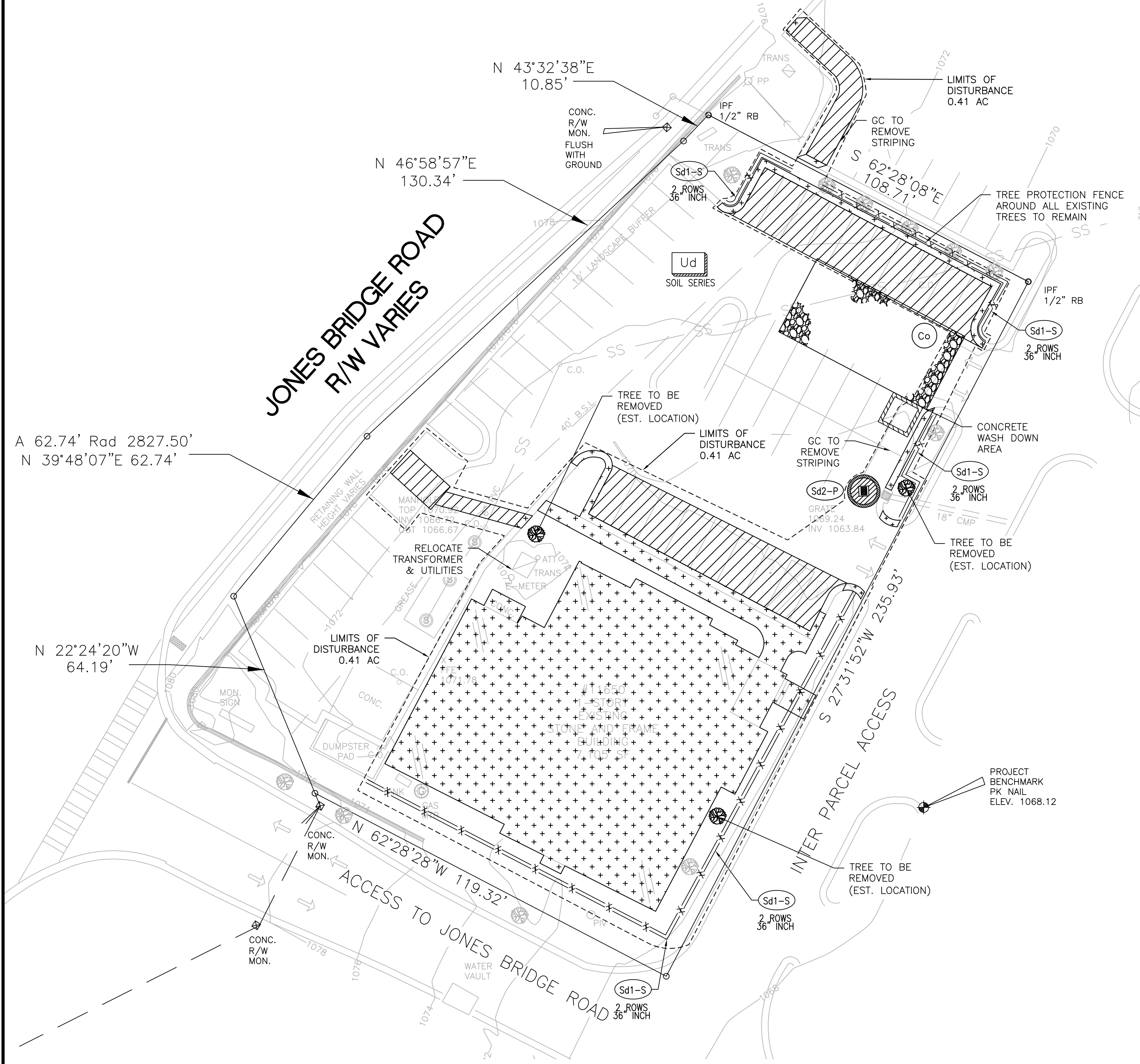
THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON AND NO WARRANTIES EXTEND TO ANY UNNAMED PERSON WITHOUT A RE-CERTIFICATION BY THE SURVEYOR NAMING SAID PERSON
 COPYRIGHT 2024 DIVERSIFIED TECHNICAL GROUP, LLC
 THIS DRAWING AND ITS REPRODUCTIONS ARE THE PROPERTY OF THE SURVEYOR AND MAY NOT BE REPRODUCED, PUBLISHED OR USED IN ANY WAY WITHOUT THE WRITTEN CONSENT OF THE SURVEYOR.

This plat is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plats, or other instruments which created the parcel or parcels are stated herein. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67



J. Scott Smith 2/28/24
 J. SCOTT SMITH, PLS 3014 DATE





MAP UNIT SYMBOL	MAP UNIT NAME
Ud	URBAN LAND

DEMOLITION LEGEND

ASPHALT PAVEMENT TO BE REMOVED	
CONCRETE TO BE REMOVED	

DESIGN PROFESSIONAL'S CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.

T. Curry

TERESA M. CURRY
 LEVEL II CERTIFICATION NUMBER: 0000066176
 EXPIRES: MAY 4, 2027

THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPS WITHIN 7 DAYS AFTER INSTALLATION.

NOTE:
 ALL CONSTRUCTION DEBRIS IS TO BE HAULED OFF SITE AND IS NOT TO BE BURIED DURING CONSTRUCTION.

* THERE IS NO BULK OIL/FUEL STORAGE ON SITE

24 HOUR CONTACT:
 JAMES LASKARIS
 (772)-260-7055

45) RUNOFF COEFFICIENT OR PEAK DISCHARGE FLOW:
 PRE-CONSTRUCTION: CN=85
 POST-CONSTRUCTION: CN=85

Received
 May 7, 2024
 RZ-24-0005
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THE EXISTING SITE AN EXISTING VACANT COMMERCIAL OUTPARCEL WITH ALL NECESSARY UTILITY CONNECTIONS INSTALLED INCLUDING STORMWATER MANAGEMENT. A DUNKIN' WILL BE CONSTRUCTED ON SITE.

- PROPERTY OWNER: LESSOR
- 24 HOUR CONTACT: JAMES LASKARIS
 MG RETAIL ADVISORS
 3390 PEACHTREE RD, #1000
 ATLANTA, GA 30326
 (772)-260-7055
- TOTAL SITE: 0.76 ACRES (33,413 S.F.)
 TOTAL DISTURBED AREA: 0.41 ACRES (17,667 S.F.)
- SEDIMENT STORAGE MAINTENANCE INDICATORS MUST BE INSTALLED IN SEDIMENT STORAGE STRUCTURES INDICATING THE 1/3 FULL VOLUME.
- EROSION CONTROL MEASURES TO BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE PROPERTY OWNER.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 30 DAYS SHALL BE STABILIZED WITH PERMANENT SEEDING.
- ALL FILL SLOPES SHALL HAVE SILT FENCE PLACED AT THE SLOPE'S TOE.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN, AND REPAIRED AS NECESSARY
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ON-SITE INSPECTION
- THE PROPERTY IS NOT LOCATED WITHIN A FLOODPLAIN PER FIRM COMMUNITY PANEL 13121C0079F, EFFECTIVE DATE SEPTEMBER 18, 2013.
- THE PROFESSIONAL WHO SEALS THIS PLAN CERTIFIES THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY THE PROFESSIONAL OR THE PROFESSIONAL'S AGENT, UNDER THE PROFESSIONAL'S DIRECT SUPERVISION.
- THE RECEIVING WATERS FOR THIS SITE ARE: UNNAMED TRIBUTARY TO JOHNS CREEK

EROSION CONTROL PHASE I NARRATIVE:

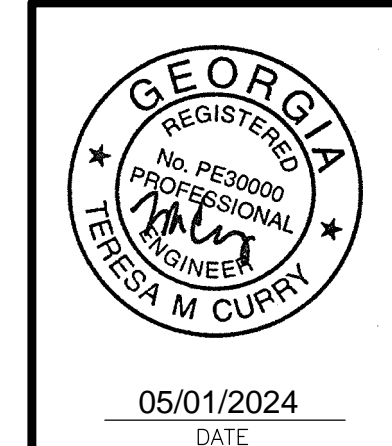
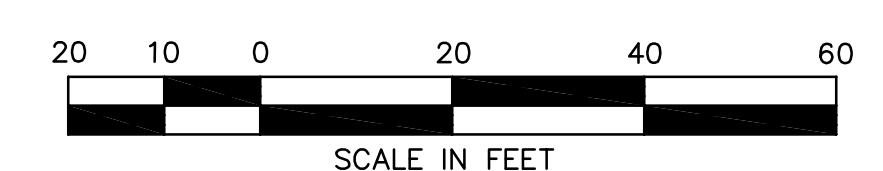
- PRIOR TO STARTING CONSTRUCTION ON SITE, DEMOLITION CONTRACTOR SHALL:
- ESTABLISH PERIMETER PROTECTION USING SENSITIVE SILT FENCE ON SITE PROPERTY LINES AND ENTRANCES AS SHOWN AND MAINTAIN.
 - ESTABLISH A CONSTRUCTION ENTRANCE AS NOTED AND AS APPROVED BY THE INSPECTOR AND MAINTAIN.
 - ESTABLISH CONCRETE WASH DOWN ENTRANCE AT EXIT AS SHOWN.
 - PRELIMINARY GRADING (AS NEEDED).
 - COMMENCE DEMOLITION AND SITE WORK AFTER RELEASED BY THE INSPECTOR.

NOTE: NO GRADING OPERATIONS ARE TO COMMENCE UNTIL ALL PERIMETER AND SEDIMENT STORAGE BMPS HAVE BEEN PROPERLY INSTALLED AND INSPECTED.

SEDIMENT SHALL BE CONTROLLED USING THE FOLLOWING BEST MANAGEMENT PRACTICES:

- | | |
|--|---|
| | 1. PERIMETER SILT FENCE (SENSITIVE) 36" FENCE |
| | 2. INLET SEDIMENT TRAP-"PIGS IN A BLANKET" |
| | 3. TEMPORARY SEDIMENT TRAP (SEDIMENT STORAGE) |
| | 4. DISTURBED AREA STABILIZATION (WITH MULCH) |
| | 5. DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING) |
| | 6. DISTURBED AREA STABILIZATION (WITH PERMANENT GROUNDCOVER) SEE LANDSCAPE PLAN |
| | 6. DUST CONTROL |
| | 7. CONSTRUCTION ENTRANCE |

2) PLAN PREPARER'S GSWCC LEVEL II CERTIFICATION #: 0000066176



NO.	DATE	DESCRIPTION
4		
3		
2		
1		

NO.	DATE	DESCRIPTION
4		
3		
2		
1		



DRAWING TITLE: DEMO & EROSION CONTROL PLAN PHASE I

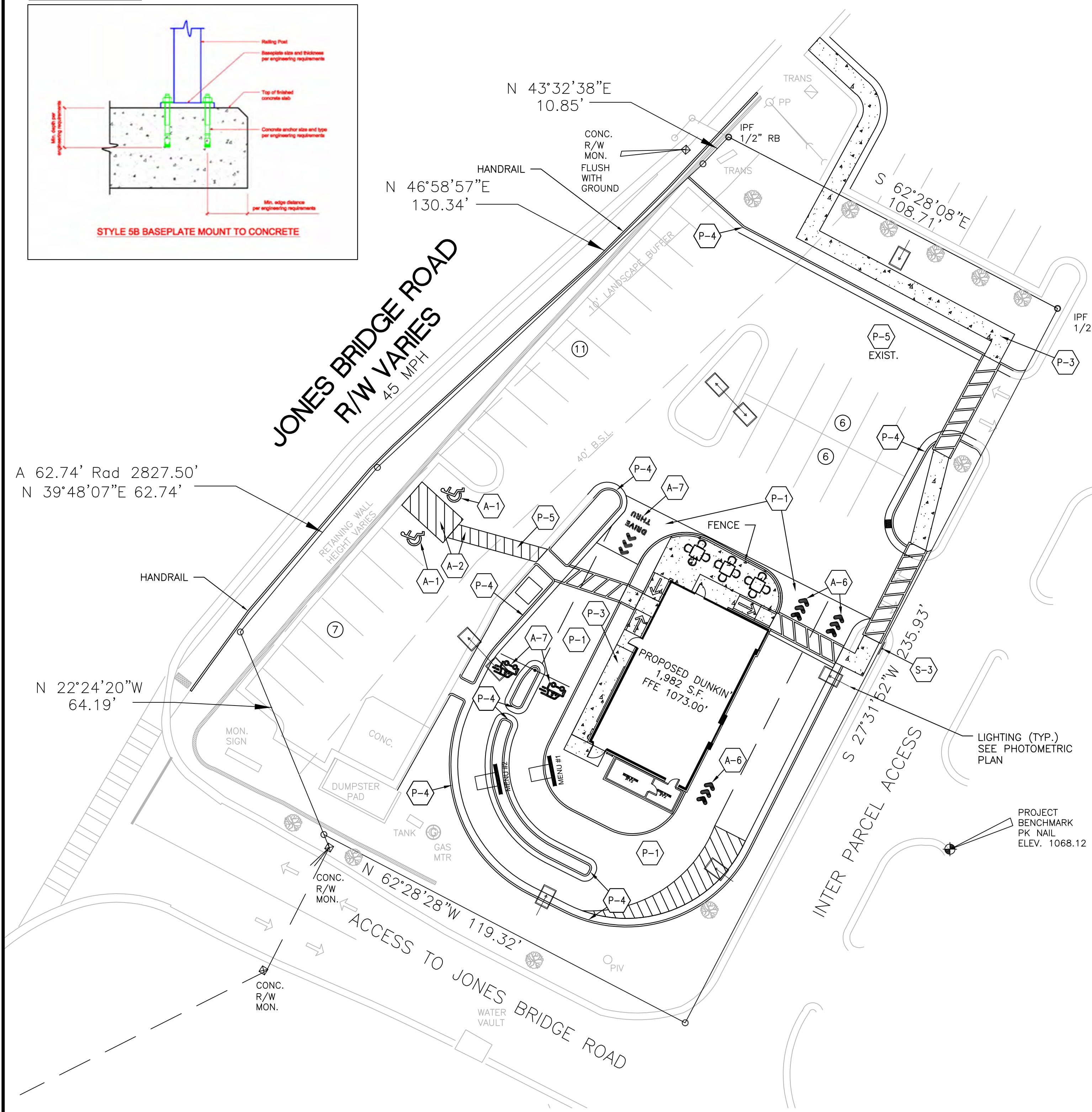
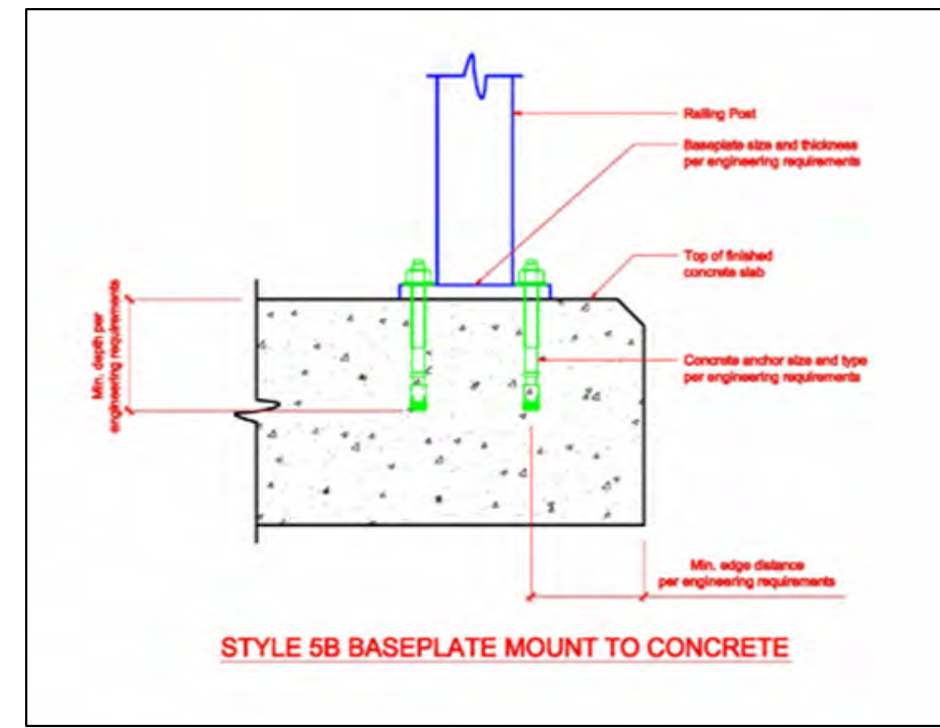
PROJECT NAME: DUNKIN'

CLIENT: MG RETAIL ADVISORS

11605 JONES BRIDGE RD, JOHNS CREEK, GA
 3390 PEACHTREE RD #1000, ATLANTA, GA

PROJECT NO.:	PROJ. MGR.:
DATE:	DRWN. BY:
SCALE:	CHKD. BY:
DRAWING SERIES:	E&SC
SHEET NO.:	C-1.0

HANDRAIL DETAIL:



GENERAL NOTES:

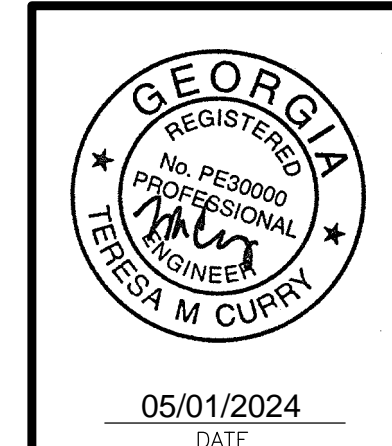
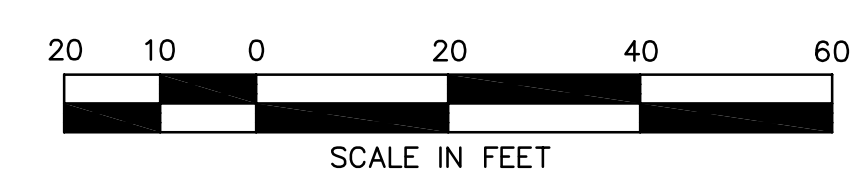
1. PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
2. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
3. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND BREAK.
4. FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.
5. ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.
6. LOT LIGHTING CONCRETE FOOTINGS TO CONFORM WITH THE SOILS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE.
7. ALL CONCRETE WALKS TO BE 4" THICK AND BROOM FINISHED.
8. BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
9. ANY WORK PERFORMED IN THE STATE R.O.W. SHALL BE PER DOT GUIDELINES AND STANDARD SPECIFICATIONS.
10. ALL EXPOSED CONCRETE CORNERS TO BE CHAMFERED AND/OR TO HAVE RADI.
11. ALL EXPOSED CONCRETE CURBS, SIDEWALK, SLABS, PAVEMENT AND FOUNDATIONS SHALL BE TREATED WITH AN AQUORON CONCRETE TREATMENT AS MANUFACTURED BY AQUORON OR APPROVED EQUIVALENT.
12. THE COMPACTION REQUIREMENTS FOR ALL FILL MATERIAL(S) PLACED ANYWHERE ON PROPERTY SHALL BE 100% OF THE STANDARD PROCTOR (ASTM D-698).
13. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF ANY REMAINING SITE IMPROVEMENTS PRIOR TO CONSTRUCTION.
14. ALL JOINTS WHERE NEW PAVEMENT ADJOINS EXISTING PAVEMENT SHALL BE SAW CUT, TO INSURE A STRAIGHT CLEAN LINE, OR WILL BE CARRIED TO THE NEXT EXPANSION JOINT ON DOT R.O.W. WHERE FEASIBLE.
15. ALL CURB RADI 5' UNLESS NOTED OTHERWISE.
16. ALL CURB FACES AND PAVEMENT ELEVATIONS SHALL MATCH ADJOINING CURBING AND PAVEMENT EXACTLY.
17. STABILIZE AND GRASS ALL SLOPES TO PREVENT EROSION, AND SOD OR HYDRO-SEED SLOPES OVER 2:1 UNLESS OTHER WISE SPECIFIED. SEE GRADING PLAN.
18. ALL DIMENSIONS ARE GIVEN TO THE FACE OF CURB.
19. CONTRACTOR TO USE TOPOGRAPHIC SURVEY IN CONJUNCTION WITH THIS SITE PLAN FOR LOCATION AND SIZES OF EXISTING FEATURES.

SITE DATA		
STREET LOCATION: 11605 JONES BRIDGE RD, JOHNS CREEK, GA 30022		
CURRENT SITE AREA: 0.76 AC. (33,413 S.F.)		
0.70 AC. (30,288 S.F.) BUILDABLE		
0.06 AC (3,125 S.F.) UNBUILDABLE		
CURRENT ZONING: C-1, COMMUNITY BUSINESS (CITY OF JOHNS CREEK)		
BUILDING TYPE: PROTOTYPE (1,982 SQ.FT.)		
ZONING REQUIREMENTS	REQUIRED	PROPOSED
BUILDING SETBACKS		
FRONT	40'	40'
LEFT SIDE	0'	0'
RIGHT SIDE	0'	0'
REAR	0'	0'
LANDSCAPE BUFFERS		
ALONG ROW	10'	10'
PARKING REQUIREMENT		
1 SPACE/100 S.F.	19	32

STRIPING LEGEND	PROPOSED SIGNS
A-1 ADA ACCESSIBLE STALL WHITE STRIPING W/B BLUE SYMBOL PER ADA REQUIREMENTS	S-1 BOLLARD MOUNTED MUTCD SIGN R7-8 & R7-8a - ADA VAN ACCESSIBLE HANDICAP PARKING
A-2 HANDICAP ACCESSIBLE AISLE-4" WHITE STRIPES @ 45', 2' O.C.	S-2 ALL IN ONE MENUBOARD AND CANOPY SEE SD-1.3 FOR DETAIL
A-3 4" WHITE PARKING STRIPE OR STRIPED AREA - 4" WHITE STRIPES @ 45', 2' O.C.	S-3 DIGITAL PREVIEW BOARD SEE SD-1.3 FOR DETAIL
A-4 6" ORANGE DRIVE-THRU STRIPE	S-4 DIRECTIONAL SIGN DD "WELCOME
A-5 5" DOUBLE YELLOW STRIPING	S-5 BACK/ENTER" SIGN SEE SD-1.3 FOR DETAIL
A-6 SITE DIRECTIONAL ARROWS	S-6 SIGN BY OTHERS. TO CONFORM TO MASTER DEVELOPMENT/CITY REQUIREMENTS
A-7 BRANDED DT ORDER LANE PAVEMENT MARKINGS	

PROPOSED CONCRETE CURBS, GUTTERS, PADS AND PAVING ON SITE		
DESCRIPTION	SPECIFICATION	QTY.
P-1 CONCRETE PAVEMENT	6" THK. 4,000 PSI CONCRETE WITH FIBERMESH	2,114 SF
P-2 STANDING CURB	6" x18" 4,000 PSI CONCRETE WITH FIBERMESH	195 LF
P-3 CONCRETE SIDEWALK	4" THK. 4,000 PSI CONCRETE	662 SF
P-4 18" CURB & GUTTER	4,000 PSI CONCRETE WITH FIBERMESH	515 LF
P-5 ASPHALT PAVEMENT	1 1/2" TOPPING OVER 2" BINDER (COMPRESSED) OVER 8" STONE BASE	8,687 SF

Received
May 7, 2024
RZ-24-0005
Planning & Zoning



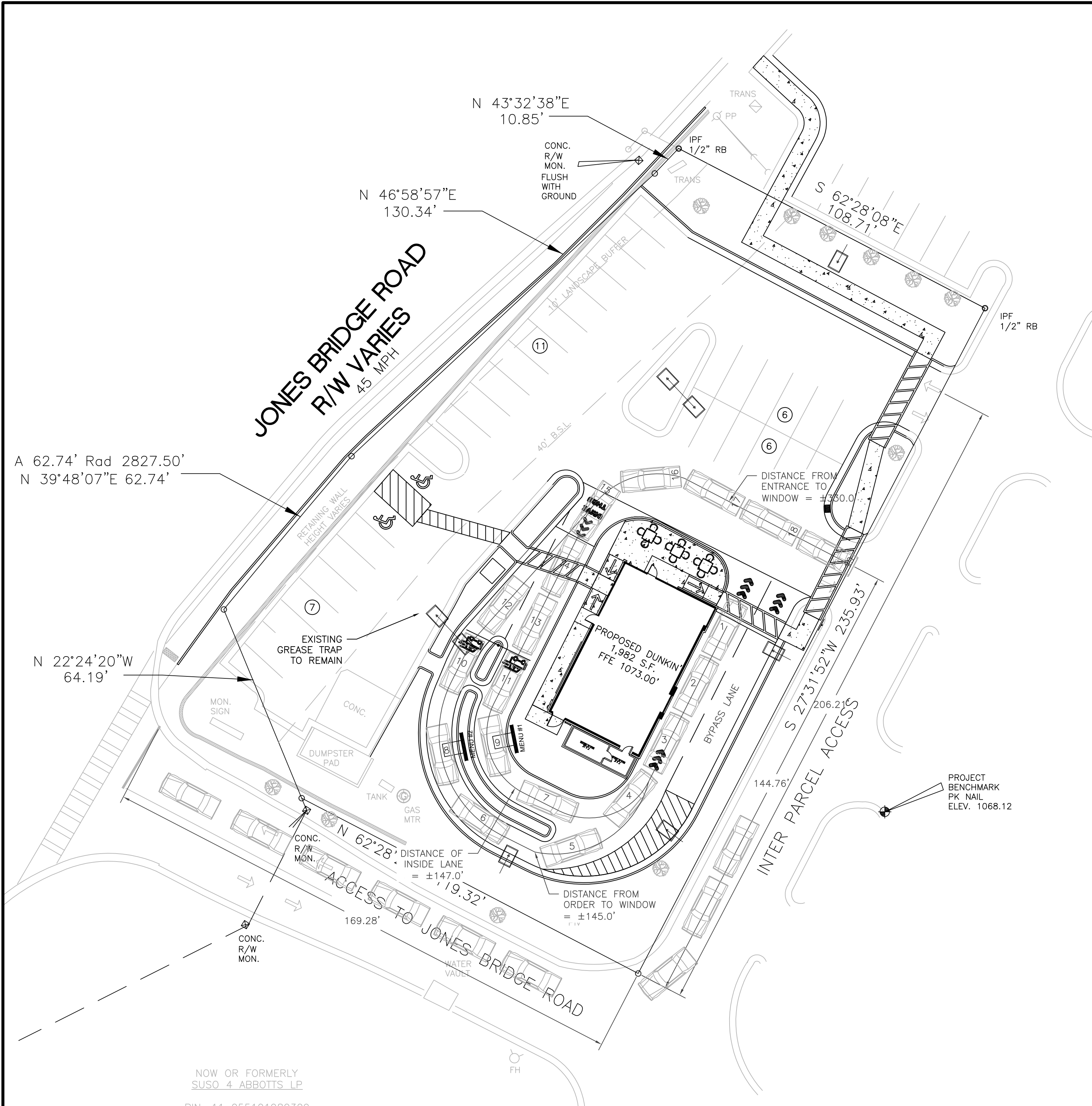
NO.	DATE	DESCRIPTION
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NO.	DATE	DESCRIPTION
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DRAWING TITLE: SITE PLAN	
PROJECT NAME: DUNKIN'	PROJECT NO.:
11605 JONES BRIDGE RD, JOHNS CREEK, GA	TMC
CLIENT: MG RETAIL ADVISORS	DATE: 05/01/2024
3390 PEACHTREE RD #1000, ATLANTA, GA	DRWN. BY: JHJ
	SCALE: AS NOTED
	CHKD. BY: TMC
	DRAWING SERIES: SITE
	SHEET NO. C-2.0

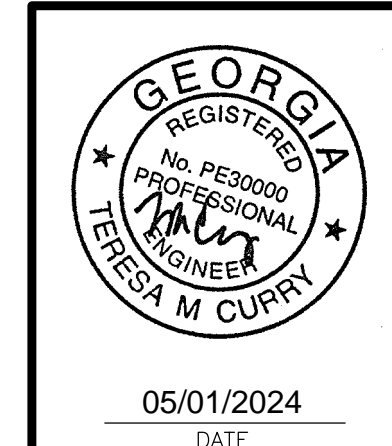
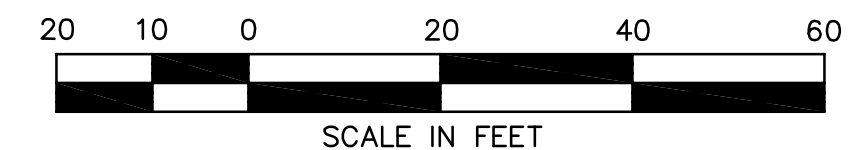
PROJECT NO.:	PROJ. MGR.:
05/01/2024	TMC
SCALE:	DRWN. BY:
AS NOTED	JHJ
DRAWING SERIES:	CHKD. BY:
SITE	TMC
SHEET NO.:	
C-2.0	



Received
 May 7, 2024
 RZ-24-0005
 Planning & Zoning



Know what's below
 Call before you dig



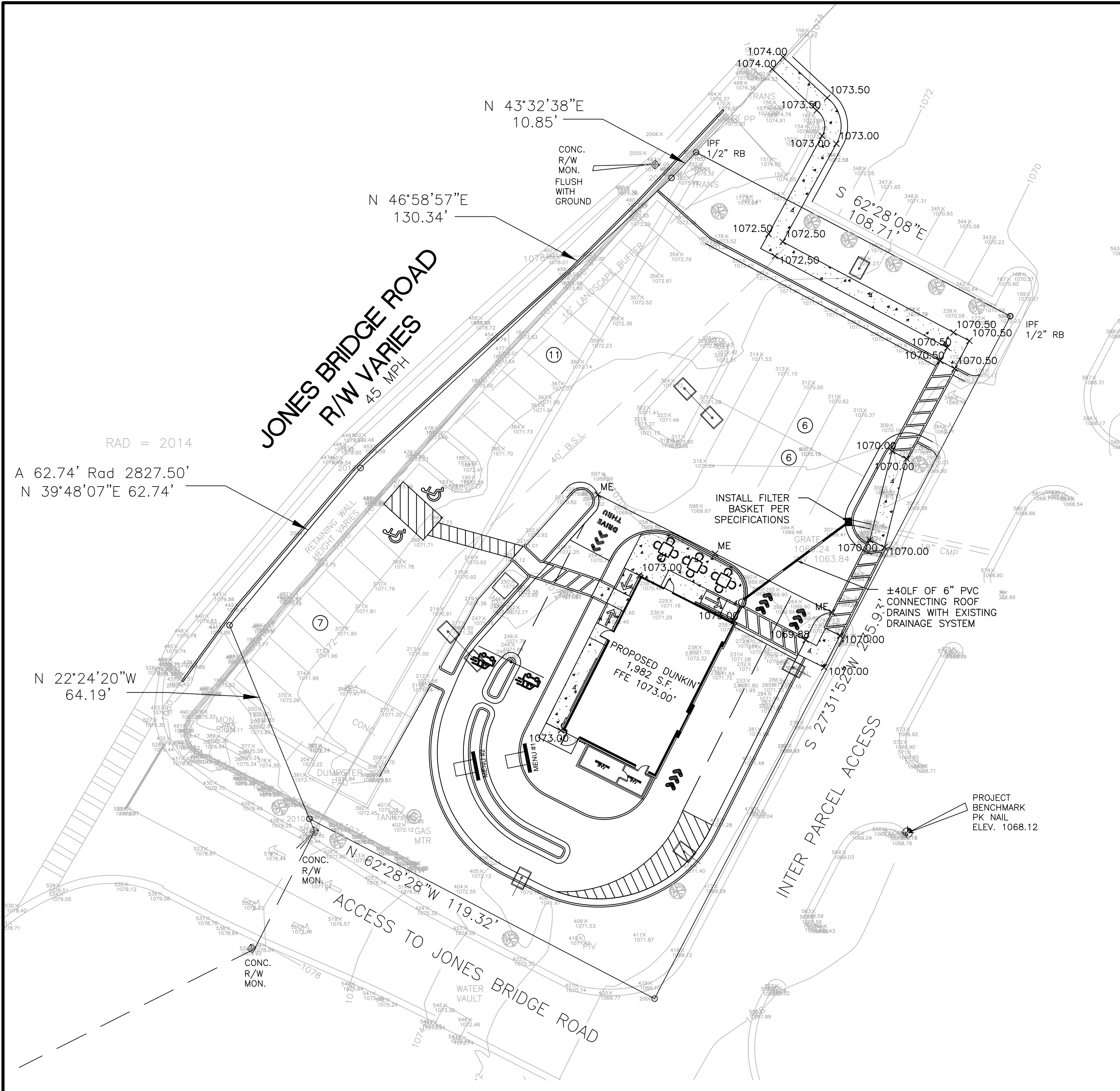
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NO.	DATE	DESCRIPTION	REVISIONS
4			
3			
2			
1			



DRAWING TITLE: LAYOUT PLAN	
PROJECT NAME: DUNKIN'	11605 JONES BRIDGE RD, JOHNS CREEK, GA
CLIENT: MG RETAIL ADVISORS	3390 PEACHTREE RD #1000, ATLANTA, GA

PROJECT NO.:	PROJ. MGR.:
DATE: 05/01/2024	TMC
SCALE: AS NOTED	DRWN. BY: JHJ
DRAWING SERIES: LAYOUT	CHKD. BY: TMC
SHEET NO. C-2.1	



GRADING NOTES

- GRADING SHALL BE KEPT WITHIN THE LIMITS SHOWN ON THE GRADING PLAN. CONTRACTOR SHALL PROTECT EXISTING TREES AND VEGETATION OUTSIDE THE LIMITS OF GRADING.
- CONTRACTOR SHALL PROVIDE ROUNDING AT TOP OF CUTS AND TOE OF FILLS WHEREVER POSSIBLE TO BLEND NEW CONTOURS TO EXISTING.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPED PAVING, EXIT PORCHES, RAMPS, TRUCK DOCKS, BUILDING DIMENSIONS, AND BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL UNSURFACED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SOD, MULCH AND WATER.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.
- THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL SPOT ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK. CONTRACTOR TO VERIFY PROPOSED GRADES PRIOR TO POURING CONCRETE CURB & DRIVE THRU PAD.
- ALL NEW CURB FACES AND PAVEMENT SHALL MATCH EXISTING ADJOINING CURBING AND PAVEMENT EXACTLY.
- PRIOR TO GRADING, CONTRACTOR TO ENSURE ALL EROSION AND SEDIMENT CONTROL MEASURES ARE IN PLACE. CONTRACTOR RESPONSIBLE FOR MAINTAINING ALL AFOREMENTIONED MEASURES DURING CONSTRUCTION IN ACCORDANCE WITH CONSTRUCTION SCHEDULE. SEE C-1.0 TO C-1.5 FOR EROSION AND SEDIMENT CONTROL MEASURES.
- THE PROJECT RECEIVING WATERS FOR THIS SITE ARE: UNNAMED TRIBUTARY TO JOHNS CREEK.
- 2.5 FEET OF UNCOMPACTED SOIL IS TO BE INSTALLED IN PLANTING ISLANDS.

LEGEND

- $\times 91.44$ EXISTING ELEVATION
- $+ 95.64$ PROPOSED ELEVATION
- $-449-$ EXISTING CONTOUR
- 850 PROPOSED CONTOUR

	STORM CALCULATIONS				CHANGE
	EXISTING CONDITIONS SF	EXISTING CONDITIONS PERCENTAGE	PROPOSED CONDITIONS SF	PROPOSED CONDITIONS PERCENTAGE	
IMPERVIOUS SURFACE	26,532	79.41%	25,899	77.51%	-1.90%
PERVIOUS SURFACE	6,881	20.59%	7,514	22.49%	+1.90%
TOTALS	33,413		33,413		

STORMWATER NOTE:

STORMWATER DETENTION AND WATER QUALITY IS PROVIDED BY A MASTER DETENTION POND FOR THE PUBLIX SUPERMARKET AT ABBOTS VILLAGE AT OCOEE.

A COPY OF THE HYDROLOGY REPORT PREPARED BY MASS ENGINEERING AND CONSULTANTS, DATED AUGUST 9, 1983 WILL BE SUBMITTED WITH THESE PLANS. THE MAINTENANCE REQUIREMENTS AND AGREEMENT ARE INCLUDED IN THE APPENDIX OF THE REPORT.

THE MAXIMUM ALLOWABLE CURVE NUMBER FOR THE OUTPARCEL IS 93; THE CURVE NUMBER OF THE OUTPARCEL IS 88, WHICH IS WITHIN THE DESIGN PARAMETERS OF THE DEVELOPMENT.

WATER QUALITY NOTE:

PER THE APPROVED MASTER HYDROLOGY REPORT THE REQUIRED WATER QUALITY VOLUME FOR THE DEVELOPMENT WILL BE PROVIDED WITHIN THE OFF-SITE POND.

EACH OUTPARCEL IS REQUIRED TO PROVIDE ON-SITE WATER QUALITY TREATMENT INDEPENDENT OF THE POND.

IT IS PROPOSED TO INSTALL WATER QUALITY FILTER BASKETS ON ALL PROPOSED INLETS WHICH HAVE A TSS REDUCTION RATE OF 86%. PLEASE SEE SPECIFICATION BELOW.

Received
 May 7, 2024
 RZ-24-005
 Planning & Zoning

MULTI STAGE Inlet Filters

Prevent Stormwater Treatment

Water Quality Eco-Friendly Sustainable

INLET FILTERS

Simple to Service

CB | HCCB Maintenance

GSB Maintenance

INLET FILTERS

Simple to Service

CB | HCCB Maintenance

GSB Maintenance

INLET FILTERS

Simple to Service

CB | HCCB Maintenance

GSB Maintenance

Know what's below
Call before you dig

SCALE IN FEET

REGISTERED PROFESSIONAL ENGINEER

TERESA M. CURRY

05/01/2024

DATE

GRADING PLAN

PROJECT NAME: **DUNKIN'**

CLIENT: **MG RETAIL ADVISORS**

11605 JONES BRIDGE RD, JOHNS CREEK, GA
3390 PEACHTREE RD #1000, ATLANTA, GA

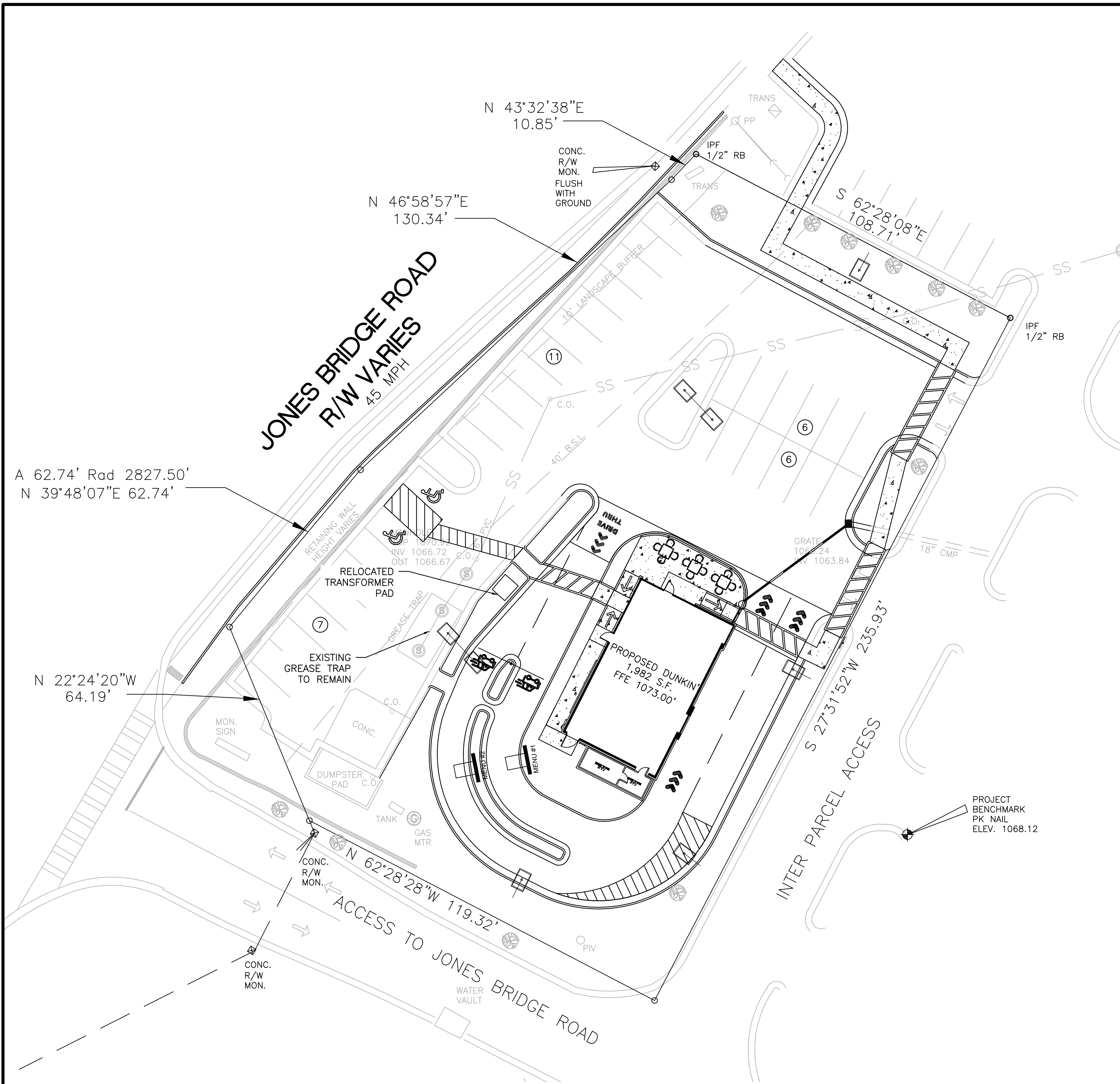
PROJECT NO.: **TMC**

DATE: **05/01/2024**

SCALE: **AS NOTED**

DRAWING SERIES: **GRADING**

SHEET NO. **C-3.0**



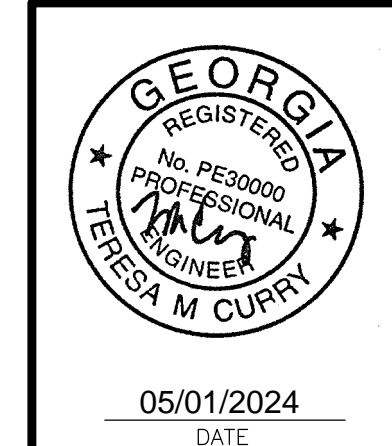
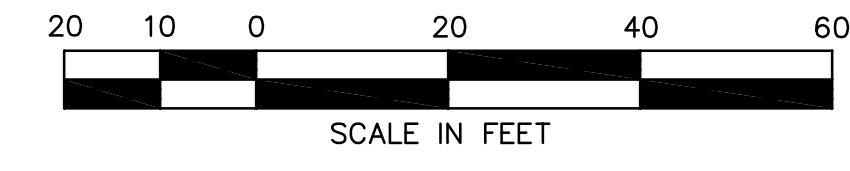
UTILITY NOTES

1. ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS AND SERVICE LINES TO BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATIONS AND/OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT NUMBERS, LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPED PAVING, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, AND EXACT LOCATION AND NUMBER OF BUILDING UTILITY ENTRANCES.
4. ALL ON-SITE SANITARY, STORM, AND WATER LATERALS SHALL BE OWNED AND MAINTAINED BY THE OWNER, EXCEPT WHERE EASEMENTS ARE SHOWN.
5. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES ARE COMPLETED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
6. PRIOR TO EXCAVATING NEAR GAS OR ELECTRIC LINES, THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANY.
7. ALL NEW CONDUITS SHALL BE PUSHED UNDER EXISTING CURB UNLESS OTHERWISE SPECIFIED.
8. 1" SERVICE AND METER INSTALLED BY COLUMBUS WATER WORKS (CWW) AFTER FEES HAVE BEEN PAID.

LEGEND

- SS— PROPOSED SAN. SEWER LATERAL
- W— PROPOSED WATER SERVICE
- G— PROPOSED GAS SERVICE
- UGP— PROPOSED UNDERGROUND ELECTRIC, AND CABLE TV SERVICE IN PVC CONDUIT
- T— PROPOSED UNDERGROUND TELEPHONE SERVICE IN PVC CONDUIT
- IRR— PROPOSED 4" PVC IRRIGATION SLEEVE
- ⊗ WATER METER
- GM GAS METER
- ELECTRICAL METER
- ⊠ BACKFLOW DEVICE
- Co CLEANOUT
- Dco DOUBLE CLEANOUT

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NO.	DATE	DESCRIPTION
4		
3		
2		
1		



UTILITY PLAN	DUNKIN'
PROJECT NAME:	11605 JONES BRIDGE RD, JOHNS CREEK, GA
CLIENT:	MG RETAIL ADVISORS 3390 PEACHTREE RD #1000, ATLANTA, GA

PROJECT NO.:	PROJ. MGR.:
DATE:	DRWN. BY:
SCALE:	CHKD. BY:
DRAWING SERIES: UTILITY	
SHEET NO. C-4.0	

Toggle Map Layers

Received
May 7, 2024
RZ-24-0005
Planning & Zoning

Toggle Map Layers

1 STORY
3,628 sf
2,248 sf
1 STORY
CANOPY

8,955 sf
1 STORY

11,363 sf
1 STORY

1,855 sf
1 STORY

5,042 sf
1 STORY

119,190 sf
1 STORY
WITH CUPOLAS