

FLOOD HAZARD STATEMENT
 I HAVE THIS DATE EXAMINED THE "FIA FLOOD HAZARD MAP" AND FOUND IN MY OPINION REFERENCED PARCEL IS NOT IN AN AREA HAVING SPECIAL FLOOD HAZARDS.
 PANEL 13121C00922G
 EFFECTIVE DATE: 09/18/2013
 ZONE 'X'

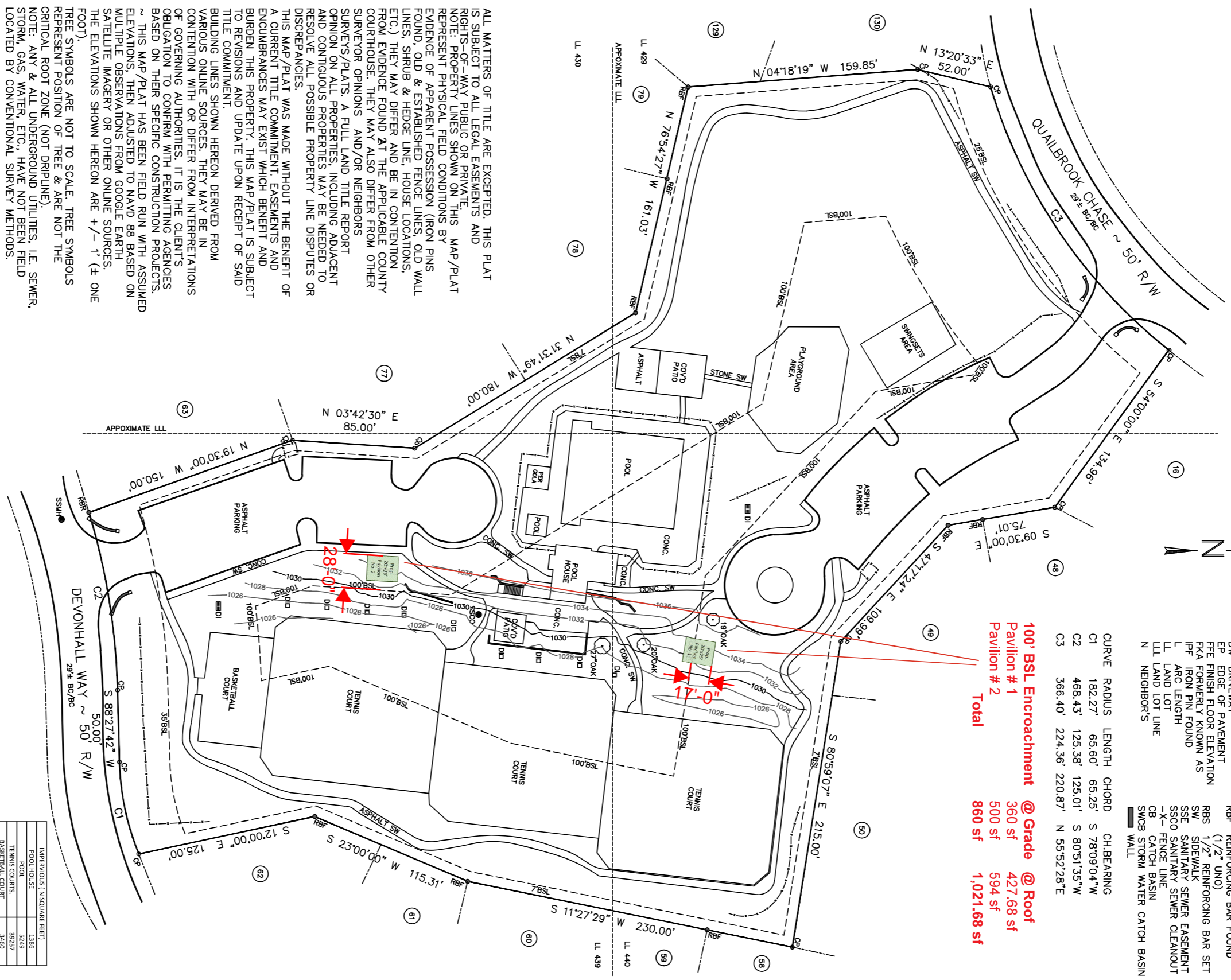


* L E G E N D *
 NOTE: ALL ITEMS IN THIS LEGEND MAY NOT APPEAR ON THIS PLAT.
 AKA: ALSO KNOWN AS
 N/F: NOW OR FORMERLY
 NAIL: NAIL FOUND
 P: PLAT (BOOK/PAGE)
 POB: POINT OF BEGINNING
 POC: POINT OF COMMENCEMENT
 R: RADIUS LENGTH
 R/W: RIGHT-OF-WAY
 RFB: REINFORCING BAR FOUND (1/2" UNO)
 RBS: 1/2" REINFORCING BAR SET
 SW: SIDEWALK
 SSE: SANITARY SEWER EASEMENT
 SSCO: SANITARY SEWER CLEANOUT
 -X-: FENCE LINE
 CB: CATCH BASIN
 SWCB: STORM WATER CATCH BASIN WALL

CURVE	RADIUS	LENGTH	CHORD	CH.BEARING
C1	182.27'	65.60'	65.25'	S 78°09'04"W
C2	468.43'	125.38'	125.01'	S 80°51'35"W
C3	366.40'	224.36'	220.87'	N 55°52'28"E

100' BSL Encroachment @ Grade @ Roof

Pavilion # 1	360 sf	427.68 sf
Pavilion # 2	500 sf	594 sf
Total	860 sf	1,021.68 sf



ALL MATTERS OF TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHTS-OF-WAY PUBLIC OR PRIVATE.
 NOTE: PROPERTY LINES SHOWN ON THIS MAP/PLAT REPRESENT PHYSICAL FIELD CONDITIONS BY EVIDENCE OF APPARENT POSSESSION (IRON PINS FOUND, OLD & ESTABLISHED FENCE LINES, OLD WALL LINES, SHRUB & HEDGE LINE, HOUSE LOCATIONS, ETC.) THEY MAY DIFFER AND BE IN CONTENTION FROM EVIDENCE FOUND AT THE APPLICABLE COUNTY COURTHOUSE. THEY MAY ALSO DIFFER FROM OTHER SURVEYOR OPINIONS AND/OR NEIGHBORS SURVEYORS/PLATS. A FULL LAND TITLE REPORT OPINION ON ALL PROPERTIES, INCLUDING ADJACENT AND CONTIGUOUS PROPERTIES MAY BE NEEDED TO RESOLVE ALL POSSIBLE PROPERTY LINE DISPUTES OR DISCREPANCIES.
 THIS MAP/PLAT WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT. EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY. THIS MAP/PLAT IS SUBJECT TO REVISIONS AND UPDATE UPON RECEIPT OF SAID TITLE COMMITMENT.
 BUILDING LINES SHOWN HEREON DERIVED FROM VARIOUS ONLINE SOURCES. THEY MAY BE IN CONTENTION WITH OR DIFFER FROM INTERPRETATIONS OF GOVERNING AUTHORITIES. IT IS THE CLIENT'S OBLIGATION TO CONFIRM WITH PERMITTING AGENCIES BASED ON THEIR SPECIFIC CONSTRUCTION PROJECTS.
 ~ THIS MAP/PLAT HAS BEEN FIELD RUN WITH ASSUMED ELEVATIONS, THEN ADJUSTED TO NAVD 88 BASED ON MULTIPLE OBSERVATIONS FROM GOOGLE EARTH SATELLITE IMAGERY OR OTHER ONLINE SOURCES. THE ELEVATIONS SHOWN HEREON ARE +/- 1' (± ONE FOOT).
 TREE SYMBOLS ARE NOT TO SCALE. TREE SYMBOLS REPRESENT POSITION OF TREE & ARE NOT THE CRITICAL ROOT ZONE (NOT DRIPLENE).
 NOTE: ANY & ALL UNDERGROUND UTILITIES, I.E. SEWER, STORM, GAS, WATER, ETC., HAVE NOT BEEN FIELD LOCATED BY CONVENTIONAL SURVEY METHODS.

PROPERTY ADDRESS:
 7220 DEVONHALL WAY,
 ATLANTA, GA 30044
 LAND AREA:
 24,014 SF
 552.4 AC
 IMPROVISED AREA:
 EAST: 107920 SF = 44.9%
 ZONING: R-1A

PLAT PREPARED FOR:
 7220 DEVONHALL WAY
 UNIT 2 SUBDIVISION DEVONHALL PARCEL ID: 1117204290028
 LAND LOT 429,430,439 & 440 1st DISTRICT
 CITY OF ATLANTA, GEORGIA

PREPARED BY:
 BUSINESS ARCHITECTURE
 719 WEST CROGAN STREET
 LAWRENCEVILLE, GA 30044
 PHONE 770-338-2171

RECEIVED
 V-24-0010
 September 30, 2024
 PLANNING & ZONING

IMPROVEMENTS (IN SQUARE FEET)	
POOL HOUSE	1386
POOL	5249
TENNIS COURTS	39257
BASKETBALL COURT	3460
COLUMN	32
ASPHALT SW	8692
STONE SW	100
CONCRETE	5583
ASPHALT PARKING	29060
PLAYGROUND AREA	4691
SWINGSSETS AREA	1982
DECK	208
FRIGIDA	252
COVERED PATIO	1968
STEPS	105
WALL	243
TOTAL IMPROVISED	107920

Encroachment Calculation

No.	Date	Description

Praxis
 Business Architecture
 719 West Crogan Street
 Lawrenceville, Ga. 30044
 Phone 770-338-2171

Shakerag Homeowners Association
 7220 Devonhall Way
 Johns Creek, Ga 30097