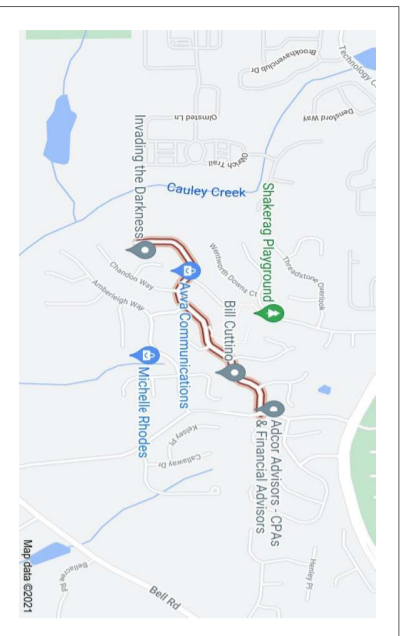


MAP: Project Location



ARCHITECTURAL LEGEND

ELECTRICAL LEGEND	GENERAL LEGEND
SWITCH	PAVED WALLS
THREE-POLE/NEUTRAL SWITCH	DEMOLITION WALL
DUPLEX RECEPTACLE	BRICK VENEER
STANDARD GFI RECEPTACLE	INSULATED WALL
GFI RECEPT. 42 AMP/125V/1P/1R	NEW CONC SLAB
WEATHERPROOF GFI RECEPTACLE	PRE ENGINEERED ROOFERS
DRYER RECEPTACLE	STRICT POINT LOAD
220VOLT RECEPTACLE	ENGINEERED BLOCK SYSTEM BLOCK
PHONE JACK	ENGINEERED TRUSS SYSTEM DIRECTION
TV OUTLET	ROOF TRUSS
THERMOSTAT	ENGINEERED TRUSS SYSTEM DIRECTION
SMOKE DETECTOR	PIPE TRUCK
CEILING LIGHT FLUSH MOUNT	DETAIL SYMBOL TAG/SECTION CUT
6" CEILING LIGHT RECESSED	DETAIL NUMBER
4" CEILING LIGHT RECESSED	SHEET NUMBER
WALL MOUNT LIGHT	POOR SIZE 1'-6" x 6'-0"
DEPOSAL	WINDOW SIZE 1'-0" x 5'-0"
EXHAUST FAN	
FAN LIGHT COORD	
CEILING FAN w/ LIGHT FIT	
STANDARD PREMISE OPTICAL CEILING FAN/LIGHT FIXTURE FLOODLIGHT	
ELECTRICAL WIRE	
ELECTRICAL PANEL	

ABBREVIATIONS

A/C	AIR CONDITION	HA	HOME BAR
AF	AT FINISH FLOOR	JA	JACK AND
ARCH	ARCHITECTURAL	LAD	LAND
BR	BED ROOM	LN	LINE
CO	CASED OPENING	HP	HIGH DENSITY FIBERBOARD
CLA	CEILING	TL	TILLUSTERS
CL	CENTER LINE	OC	ON CENTER
COL	COLUMN	ORT	ORTHO
DET	DETAIL	OSB	ORIENTED STRAND BOARD
DR	DOOR	PAV	PAVIMENT
DJ	DIM JAMMER	POL.V	POLY/VINYL
DLA	DOWN	PT	PRESSURE TREATED
DL	DOWN	RETR	RETROFLECTOR
EA	EACH	R.F.S	R.O.P. 1 SHEET
ELEC	ELECTRIC	4 SH	SHELF
EUP	ENGINEERING UPOD	SRD	STANDARD OPENING
PROD	PRODUCTS	STD	STANDARD
FLD	FLOOR	SYF	SOUTH FACING YELLOW PAINT
FL	FLAT	TRD	TRIAL
GAR	GARAGE	TRC	TRICAL
HGT	HEIGHT	UTL	UTILITY
HVA.C	HEATING VENTILATION & AIR CONDITIONING	VC	VICTORY

Tennis Pavilion

Shakerag Homeowners Association

7220 Devonhall Way

Johns Creek Ga. 30097

678-634-0323

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APPLICABLE CODES

International Building Code 2018 Edition
International Residential Code 2018 Edition
National Electrical Code 2020 Edition

CONTRACTOR

OWNER

DRAWING INDEX

Shakerag Homeowners Association
7220 Devonhall Way
Johns Creek, Ga 30097

Drawings Prepared By

Praxis Business Architecture
279 West Crogan Street
Suite 110
Lawrenceville, Ga. 30044
Phone 770-338-2171

Scope of Work

Revision Log

C.1	Cover Sheet
Architectural	
A.1	Existing Survey
A.2	Proposed Survey
A.3	Footing Foundation Plan
E.1	Pavilion #1 Rear Elevation
E.2	Pavilion #1 Front Elevation
E.3	Pavilion #1 Side Elevation
E.4	Pavilion #2 Rear Elevation
E.5	Pavilion #2 Front Elevation
E.6	Pavilion #2 Side Elevation
E.7	Electrical Trench Plans
E.8	Electrical Plans Pavilion #1
E.9	Electrical Plans Pavilion #2
F.1	Columns, Headers, & Beams #1
F.2	Columns, Headers, & Beams #2
F.3	Roof Framing Plan Pavilion #1
F.4	Roof Framing Plan Pavilion #2
F.5	Granite Table & Bench Details
F.6	Overhead Table & Bench Details
F.7	Overhead Table & Bench Details
F.8	Roof & Wall Fastening Details
R.1	Modular Block Walls
R.2	Retaining Wall Details
T.1	Rafter Span Table
T.2	Column Base Table
T.3	Beam Span Engineering Attached
T.4	BSL Encroachment Calculations

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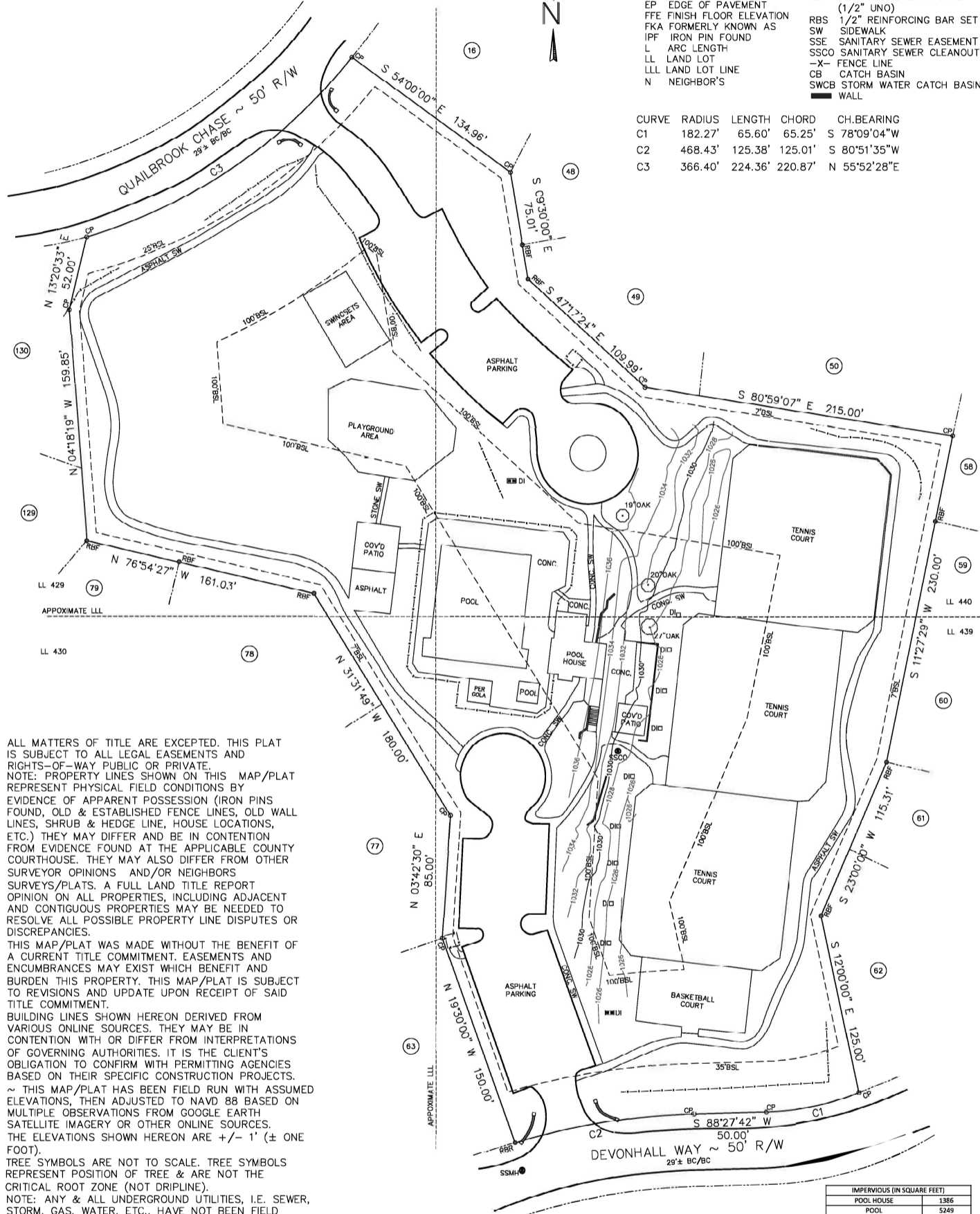
FLOOD HAZARD STATEMENT

I HAVE THIS DATE, EXAMINED THE "FIA FLOOD HAZARD MAP" AND FOUND IN MY OPINION REFERENCED PARCEL IS NOT IN AN AREA HAVING SPECIAL FLOOD HAZARDS.
PANEL 13121C0092G EFFECTIVE DATE: 09/18/2013
ZONE 'X'

* LEGEND *

- NOTE: ALL ITEMS IN THIS LEGEND MAY NOT APPEAR ON THIS PLAT.
AKA ALSO KNOWN AS N/F NOW OR FORMERLY
APD AS PER DEED NAIL NAIL FOUND
APP AS PER PLAT P PLAT (BOOK/PAGE)
BSL BUILDING (SETBACK) LINE POB POINT OF BEGINNING
CP COMPUTED POINT POC POINT OF COMMENCEMENT
CTP CRIMP TOP PIPE FOUND R RADIUS LENGTH
D DEED (BOOK/PAGE) R/W RIGHT-OF-WAY
DW DRIVEWAY RBF REINFORCING BAR FOUND
EP EDGE OF PAVEMENT (1/2" UNO)
FFE FINISH FLOOR ELEVATION RBS 1/2" REINFORCING BAR SET
FKA FORMERLY KNOWN AS SW SIDEWALK
IPF IRON PIN FOUND SSE SANITARY SEWER EASEMENT
L ARC LENGTH SSCO SANITARY SEWER CLEANOUT
LL LAND LOT -X- FENCE LINE
LLL LAND LOT LINE CB CATCH BASIN
N NEIGHBOR'S SWCB STORM WATER CATCH BASIN
WALL

CURVE	RADIUS	LENGTH	CHORD	CH. BEARING
C1	182.27'	65.60'	65.25'	S 78°09'04"W
C2	468.43'	125.38'	125.01'	S 80°51'35"W
C3	366.40'	224.36'	220.87'	N 55°52'28"E



ALL MATTERS OF TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHTS-OF-WAY PUBLIC OR PRIVATE.
NOTE: PROPERTY LINES SHOWN ON THIS MAP/PLAT REPRESENT PHYSICAL FIELD CONDITIONS BY EVIDENCE OF APPARENT POSSESSION (IRON PINS FOUND, OLD & ESTABLISHED FENCE LINES, OLD WALL LINES, SHRUB & HEDGE LINE, HOUSE LOCATIONS, ETC.) THEY MAY DIFFER AND BE IN CONTENTION FROM EVIDENCE FOUND AT THE APPLICABLE COUNTY COURTHOUSE. THEY MAY ALSO DIFFER FROM OTHER SURVEYOR OPINIONS AND/OR NEIGHBORS SURVEYS/PLATS. A FULL LAND TITLE REPORT OPINION ON ALL PROPERTIES, INCLUDING ADJACENT AND CONTIGUOUS PROPERTIES MAY BE NEEDED TO RESOLVE ALL POSSIBLE PROPERTY LINE DISPUTES OR DISCREPANCIES.
THIS MAP/PLAT WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT. EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY. THIS MAP/PLAT IS SUBJECT TO REVISIONS AND UPDATE UPON RECEIPT OF SAID TITLE COMMITMENT.
BUILDING LINES SHOWN HEREON DERIVED FROM VARIOUS ONLINE SOURCES. THEY MAY BE IN CONTENTION WITH OR DIFFER FROM INTERPRETATIONS OF GOVERNING AUTHORITIES. IT IS THE CLIENT'S OBLIGATION TO CONFIRM WITH PERMITTING AGENCIES BASED ON THEIR SPECIFIC CONSTRUCTION PROJECTS.
~ THIS MAP/PLAT HAS BEEN FIELD RUN WITH ASSUMED ELEVATIONS, THEN ADJUSTED TO NAVD 88 BASED ON MULTIPLE OBSERVATIONS FROM GOOGLE EARTH SATELLITE IMAGERY OR OTHER ONLINE SOURCES. THE ELEVATIONS SHOWN HEREON ARE +/- 1' (± ONE FOOT).
TREE SYMBOLS ARE NOT TO SCALE. TREE SYMBOLS REPRESENT POSITION OF TREE & ARE NOT THE CRITICAL ROOT ZONE (NOT DRIPLINE).
NOTE: ANY & ALL UNDERGROUND UTILITIES, I.E. SEWER, STORM, GAS, WATER, ETC., HAVE NOT BEEN FIELD LOCATED BY CONVENTIONAL SURVEY METHODS.

IMPERVIOUS (IN SQUARE FEET)	
POOL HOUSE	1386
POOL	5249
TENNIS COURTS	39257
BASKETBALL COURT	3460
COLUMN	32
ASPHALT SW	8692
STONE SW	100
CONCRETE	5583
CONC. SW	5652
ASPHALT PARKING	29060
PLAYGROUND AREA	4691
SWINGSETS AREA	1582
DECK	208
PERGOLA	252
COVERED PATIO	1968
STEPS	105
WALL	243
TOTAL IMPERVIOUS	107920

PROPERTY ADDRESS: 7220 DEVONHALL WAY, DALLAS, GA 30097
UNIT 2 SUBDIVISION DEVONHALL PARCEL ID: 11117204200638
LAND AREA: 240614 SF, 5524 AC
LAND LOT 429, 430, 439 & 440 1st DISTRICT BY:
DALLAS COUNTY, GEORGIA FIELD DATE: 07-12-2023 NH
CITY OF JOHN'S CREEK (DRAWN DATE: 07-12-2023) L&E
REFERENCE: PLAT BOOK 177, PAGE 1 200 LAKE DR. SW, SNELLVILLE, GA 30039
REFERENCE: DEED BOOK XXXX, PAGE XXX 200 LAKE DR. SW, SNELLVILLE, GA 30039
REFERENCE: DEED BOOK XXXX, PAGE XXX 200 LAKE DR. SW, SNELLVILLE, GA 30039
THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 11 FOOT IN 10,000 FEET AN ANGULAR ERROR OF +/- 1 SECOND PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 30,000 FEET. AN ELECTRONIC TOTAL STATION WAS USED IN THE PREPARATION OF THIS PLAT. NO STATE PLANE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.
THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. 15-6-67.

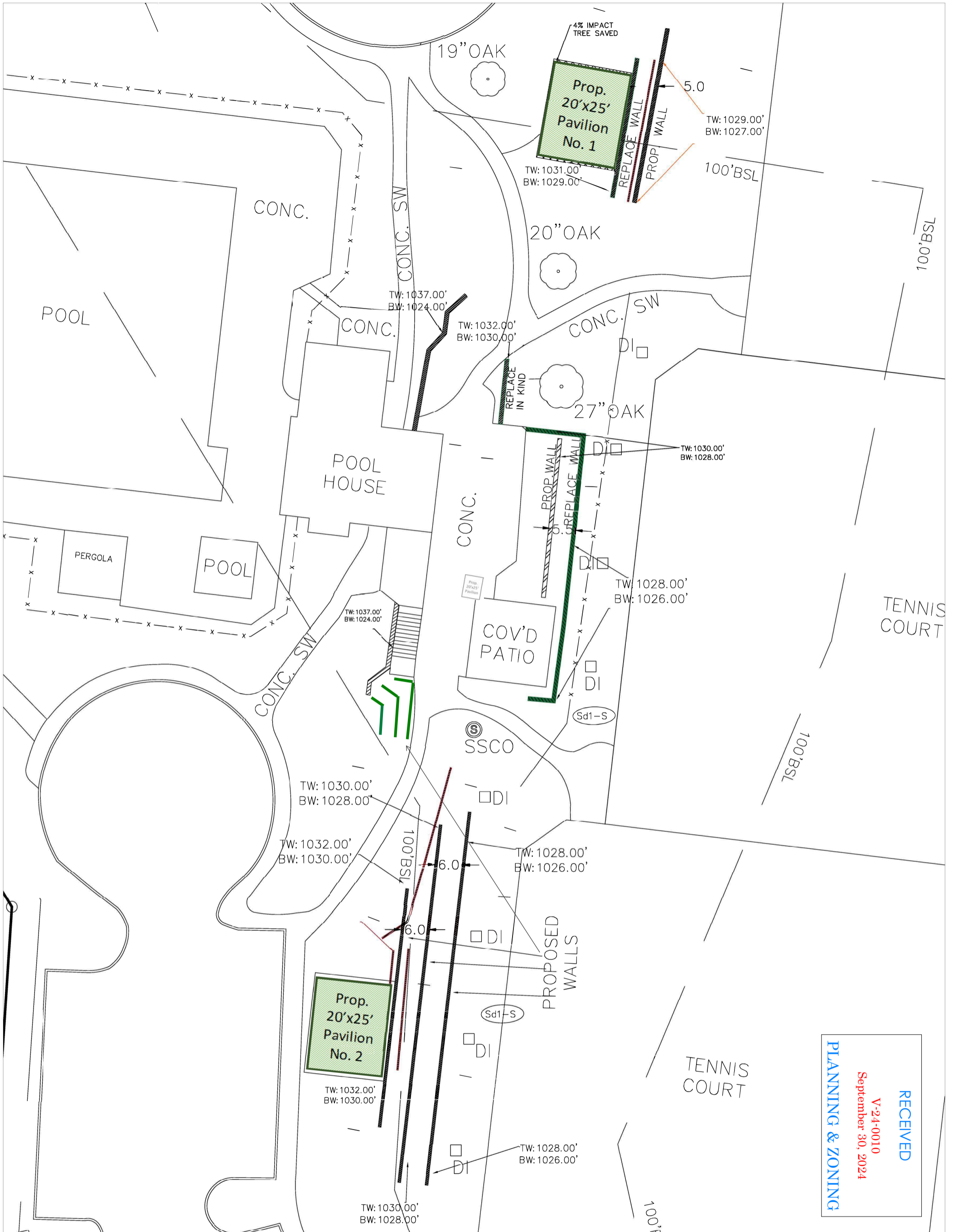
A.1

Existing Survey

Issued Date	Project No.	Revisions	No. Done	Description
		PBA		

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Phone 770-338-2171

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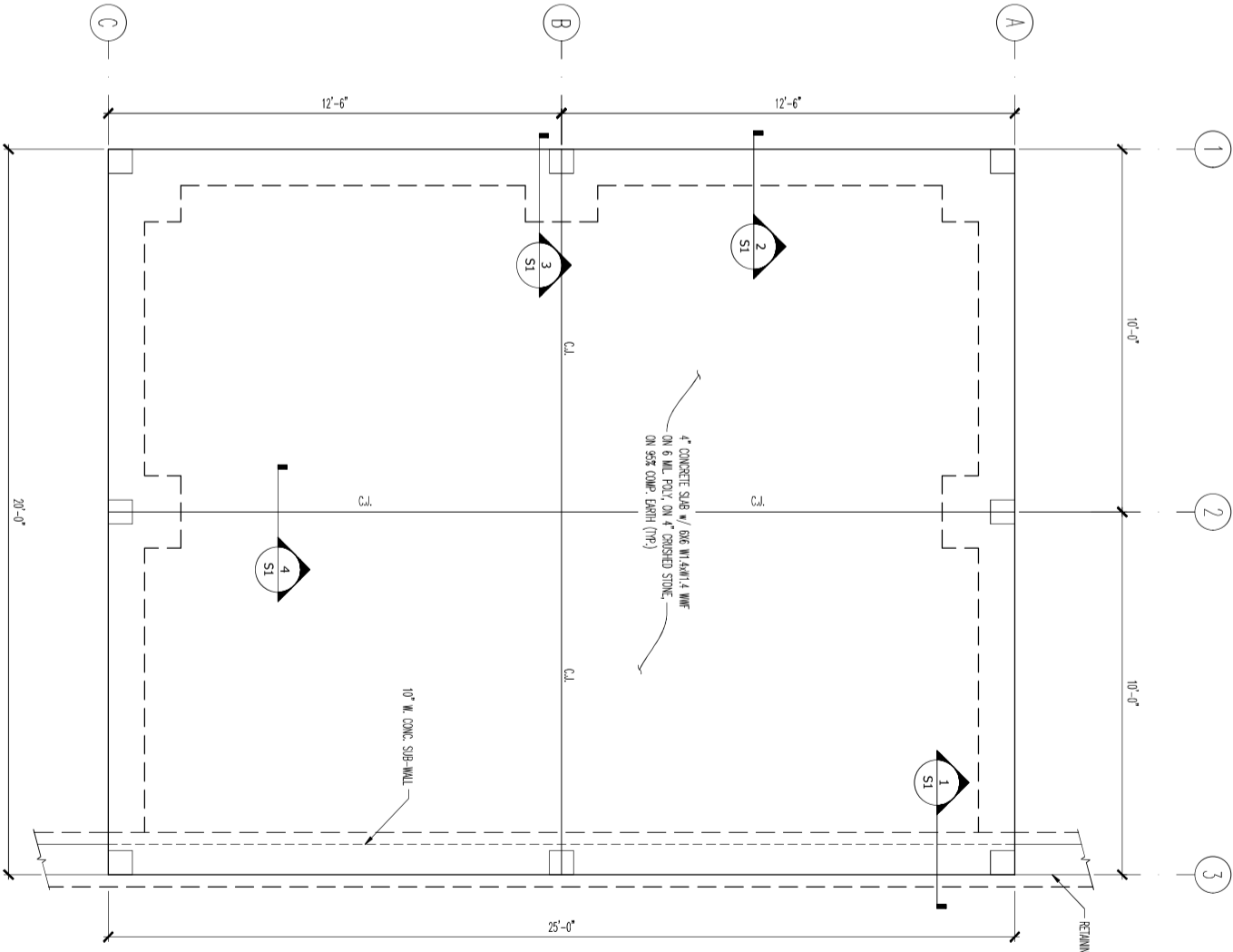
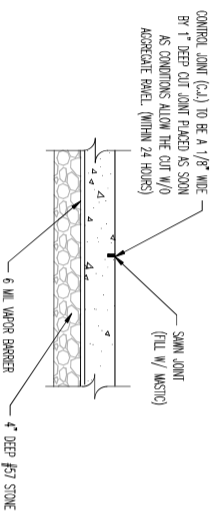
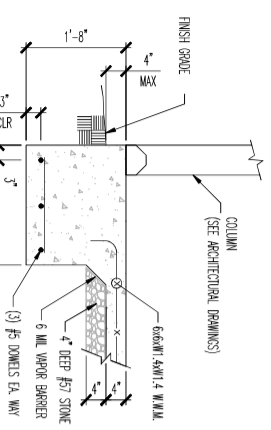
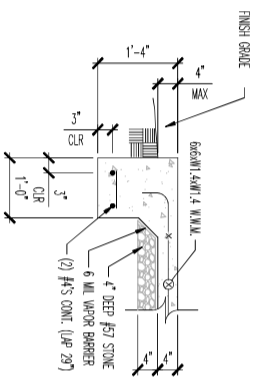
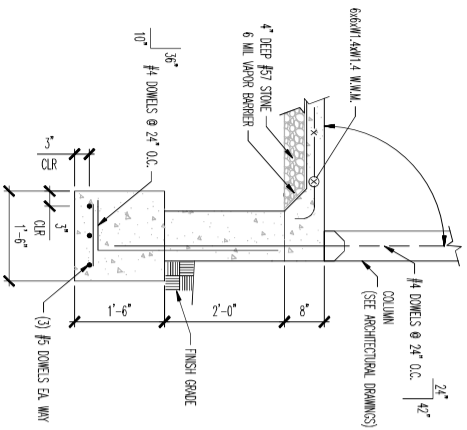


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PROPERTY ADDRESS: 7220 DEVONHALL WAY, DULUTH, GA 30097		PG 2 OF 2 SITEPLAN DEVONALL REC CENTER 7220 DEVONHALL WAY		REVISED: 08-16-2023 AE	
LAND AREA: 240614 SF 5.524 AC		UNIT 2 SUBDIVISION DEVONHALL PARCEL ID: 11117204290838			
IMPERVIOUS AREA: EXIST = 10700 SF = 44.5% PROPOSED = 108208 SF = 44.9%		LAND LOT 429,430,439 & 440 1st DISTRICT		SURVEY SYSTEMS ATLANTA 660 LAKE DR. SW. SHILLVILLE, GA 30039 COA #LSF000867, JOBORDERS@SURVEYSATLANTA.COM CELL 678-591-6064 ~ OFFICE 404-760-0010	
ZONING: R-4A		FULTON COUNTY, GEORGIA FIELD DATE: 07-12-2023 NH		CITY OF JOHNS CREEK DRAWN DATE: 07-13-2023 AE	
SCALE 1" = 10'		REFERENCE: PLAT BOOK 177, PAGE 8 REFERENCE: DEED BOOK XXXX, PAGE XXX		ALL MATTERS OF TITLE ARE EXCEPTED, NOT TO BE RECORDED NOR USED TO CONVEY INTEREST.	
SURVEY SYSTEMS & ASSOC., INC. ASSUMES NO LIABILITY OR RESPONSIBILITY FOR ERRORS OR OMISSIONS ON DEMO OR SITE PLANS. IT IS THE CLIENT'S RESPONSIBILITY TO REVIEW PLANS FOR COMPLETENESS AND ACCURACY. ANY REDLINES, COMMENTS, CORRECTIONS, ALTERATIONS, ETC. (FROM ANYONE EXCEPT THE CLIENT) SHALL BE DEEMED AS BILLABLE AND ADDITIONAL CHARGES SHALL APPLY.		SITEPLAN: 10-11-2023 SKG		24 HR CONTACT: ERIK MICHEL SHAKERAG HOA BOARD LANDSCAPE & PAVILION LIAISON 678 634 0323 ERIK.SHAKERAGHOA@GMAIL.COM	

FOUNDATION NOTES

1. ALL FOOTINGS SHALL BEAR ON UNDISTURBED, FIRM MATERIAL SOIL OR ENGINEERED SOIL CAPABLE OF SUPPORTING A MINIMUM DESIGN BEARING PRESSURE OF 2,000 POUNDS PER SQUARE FOOT UNLESS DATA TO SUBSTANTIATE THE USE OF A HIGHER VALUE IS SUBMITTED AND APPROVED. ALL FOUNDATION EXCAVATIONS SHALL BE INSPECTED PRIOR TO POURING FOUNDATION CONCRETE.
2. A REINFORCING STEEL SHALL CONFORM TO ASTM A-615, GRADE 60.
3. ALL FOUNDATIONS CONCRETE SHALL OBTAIN A 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI.
4. UNLESS OTHERWISE NOTED, MINIMUM CONCRETE COVER SHALL BE PROVIDED IN ACCORDANCE WITH ACI 318-14.
5. ALL REINFORCING BARS (CONTINUOUS (CONC)) ON THE DRAWINGS AND DETAILS SHALL BE BENT AND/OR LAPPED A MINIMUM OF 48 TIMES THE BAR DIAMETER AT ALL SPICES, CORNERS, AND ANY OTHER JOINTS UNLESS OTHERWISE NOTED.
6. PRIOR TO COMMENCING ANY FOUNDATION WORK, COORDINATE WORK WITH ANY EXISTING UTILITIES. FOUNDATIONS SHALL BE LOWERED WHERE REQUIRED TO AVOID UTILITIES.
7. NO UNBALANCED BACK FILLING SHALL BE DONE AGAINST FOUNDATION WALLS UNLESS WALLS ARE SECURELY BRACED AGAINST OVERTURNING EITHER BY TEMPORARY BRACKING OR BY PERMANENT CONSTRUCTION.
8. PROVIDE CONSTRUCTION JOINTS IN ALL CONCRETE WORK AS REQUIRED BY THE A.C.I. CODE OR AS SHOWN ON THE INDIVIDUAL DETAILS.
9. PROVIDE PROPER AND ADEQUATE BRACING BEHIND ANY TYPE OF RETAINING AND/OR BASEMENT WALLS AS THE SITE CONDITIONS REQUIRE IN THE FIELD.
10. ALL FOOTING AND FOUNDATIONS SHALL BE PLACED BELOW THE "FROST-DEPTH" OF THE GEOGRAPHIC AREA OF THE PROJECT.
11. IN THE PRESENCE OF THE GROUND WATER TABLE ABOVE ANY FOOTING OR FOUNDATION, THE GENERAL CONTRACTOR SHALL NOTIFY THE STRUCTURAL ENGINEER OF RECORD FOR ANY DESIGN REVISION.
12. ALL STEEL EXPOSED TO WATER, MOISTURE, AND/OR CORROSION SHALL BE COVERED WITH APPROPRIATE PROTECTIVE APPROVED COATING MATERIALS.



FOUNDATION PLAN
SCALE: 1/2"=1'-0"

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Foundation Footer Plan
A.3

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Tennis Court #1 Pavilion Front Elevation

Shingles to Match Pool House

1x10 Fascia

8 x8
Columns
10' Height

Poured Foundation Wall

Steel Railing as per Specifications
Trex Signature Railing System

8x8
Brackets

All Columns shall be Attached
to Foundation Using Simpson
Strong-Tie CBSQ88-SDS2
Standoff 8 X 8 Column Base
and Wrapped With PVC

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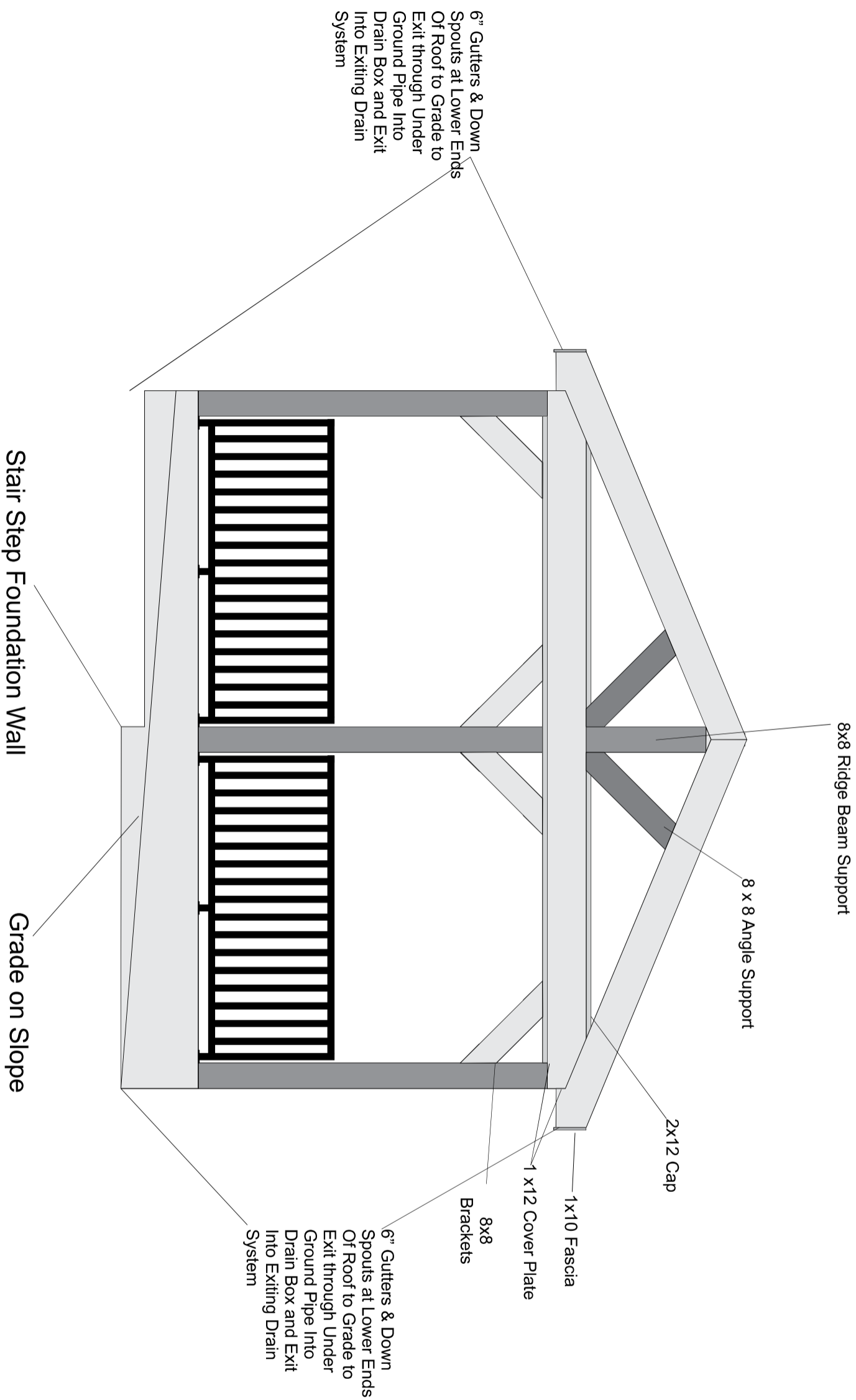


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Tennis Court Pavilion #1 Front Elevation	

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Tennis Court #1 Pavilion Side Elevation



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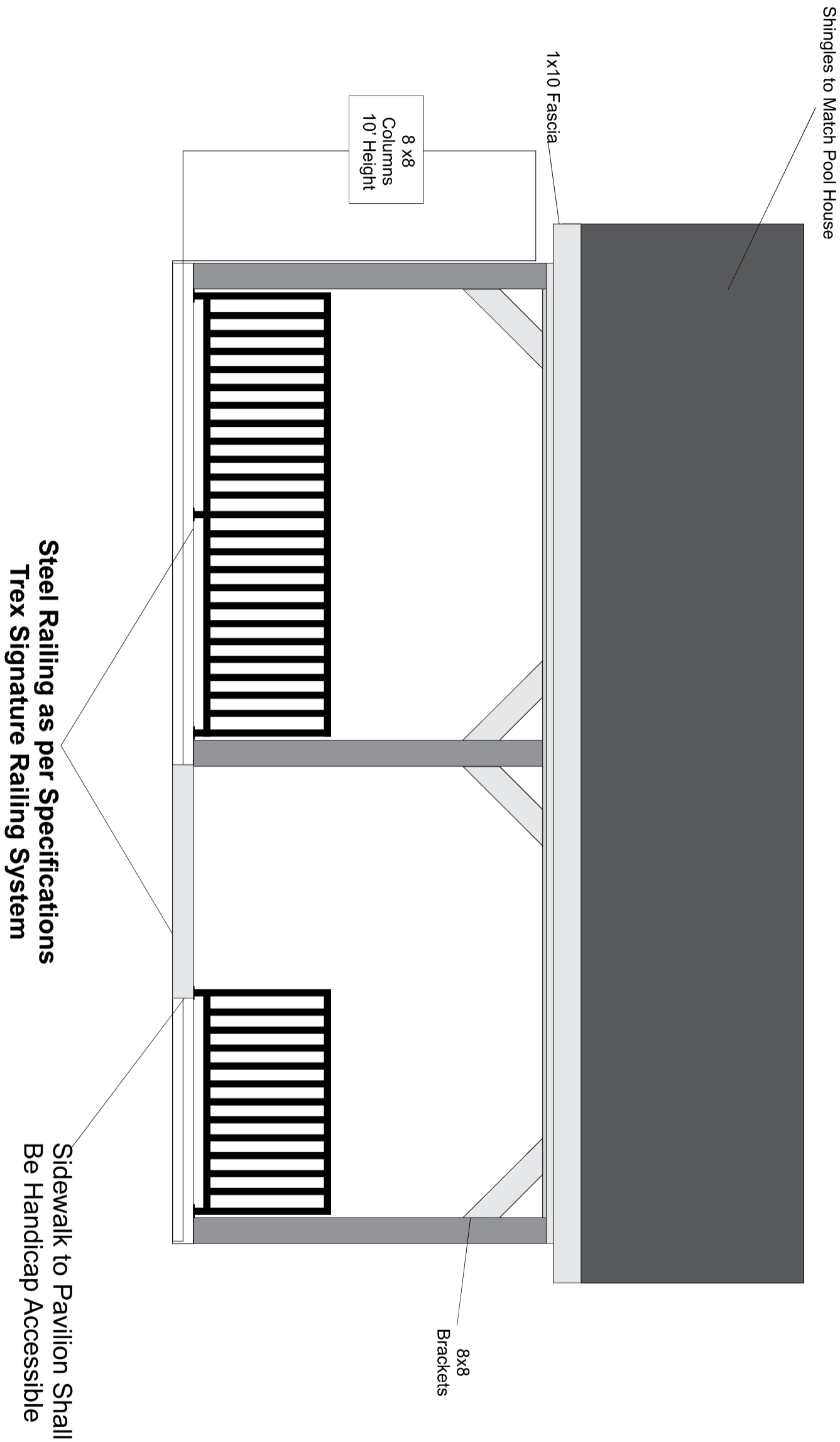
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Project No.	
Drawn By	PBA
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No.	Date Description

Tennis Court Pavilion #1 Side Elevation

E.3

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Tennis Court #2 Pavilion Rear Elevation



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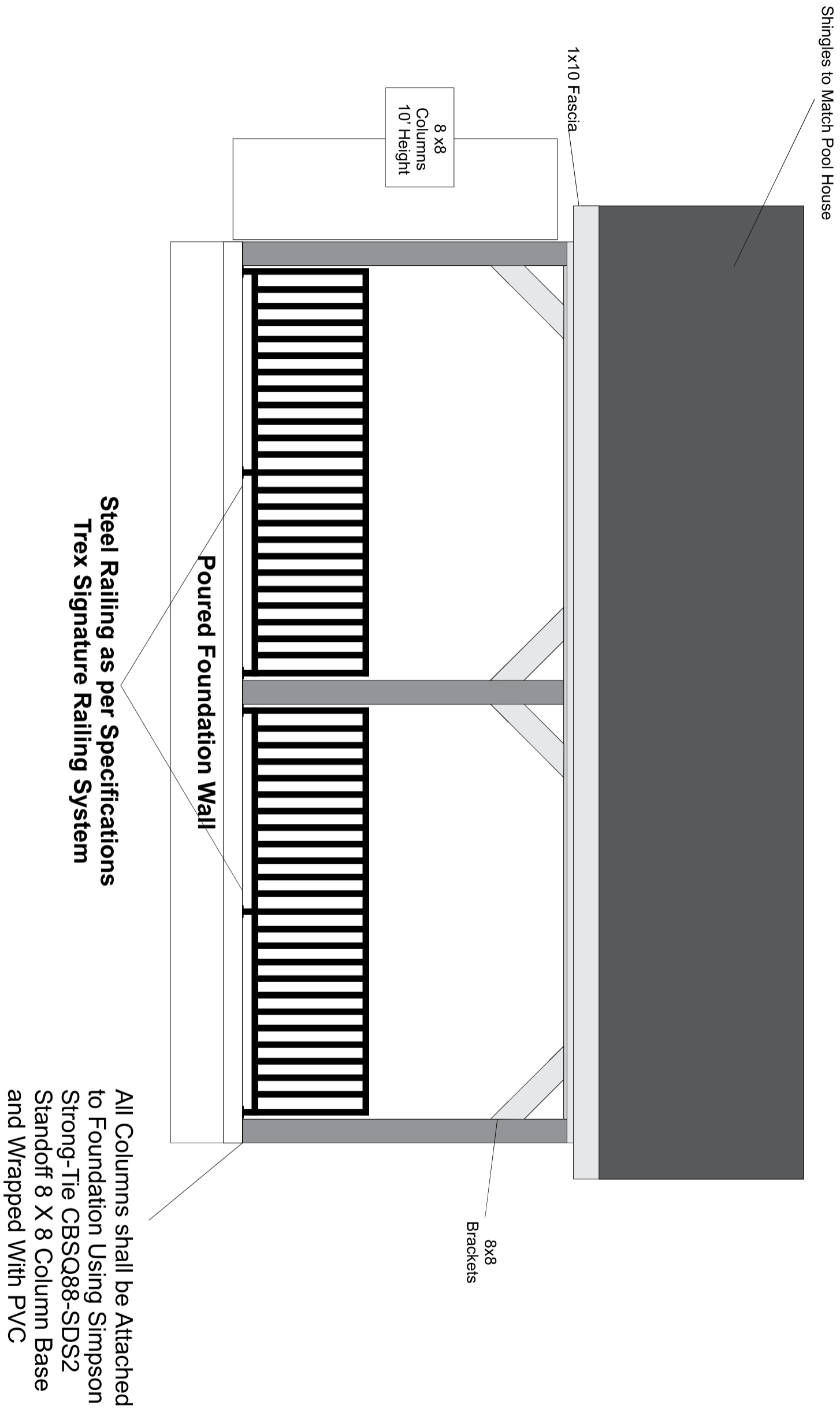


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Tennis Court
 Pavilion #2
 Rear Elevation

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Tennis Court #2 Pavilion Front Elevation



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Tennis Court #2 Pavilion		
Front Elevation		

E.5

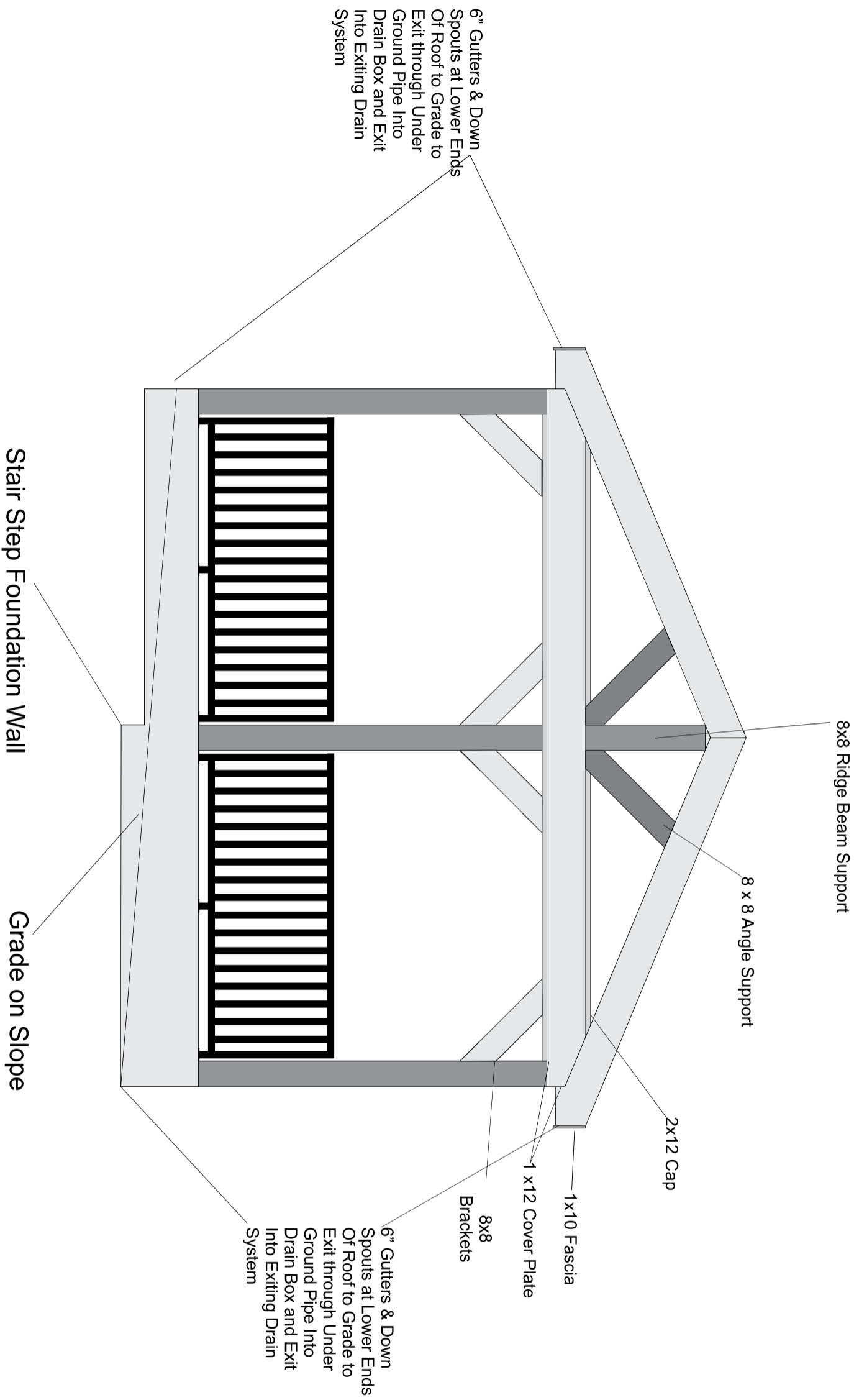
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Tennis Court #2 Pavilion Side Elevation



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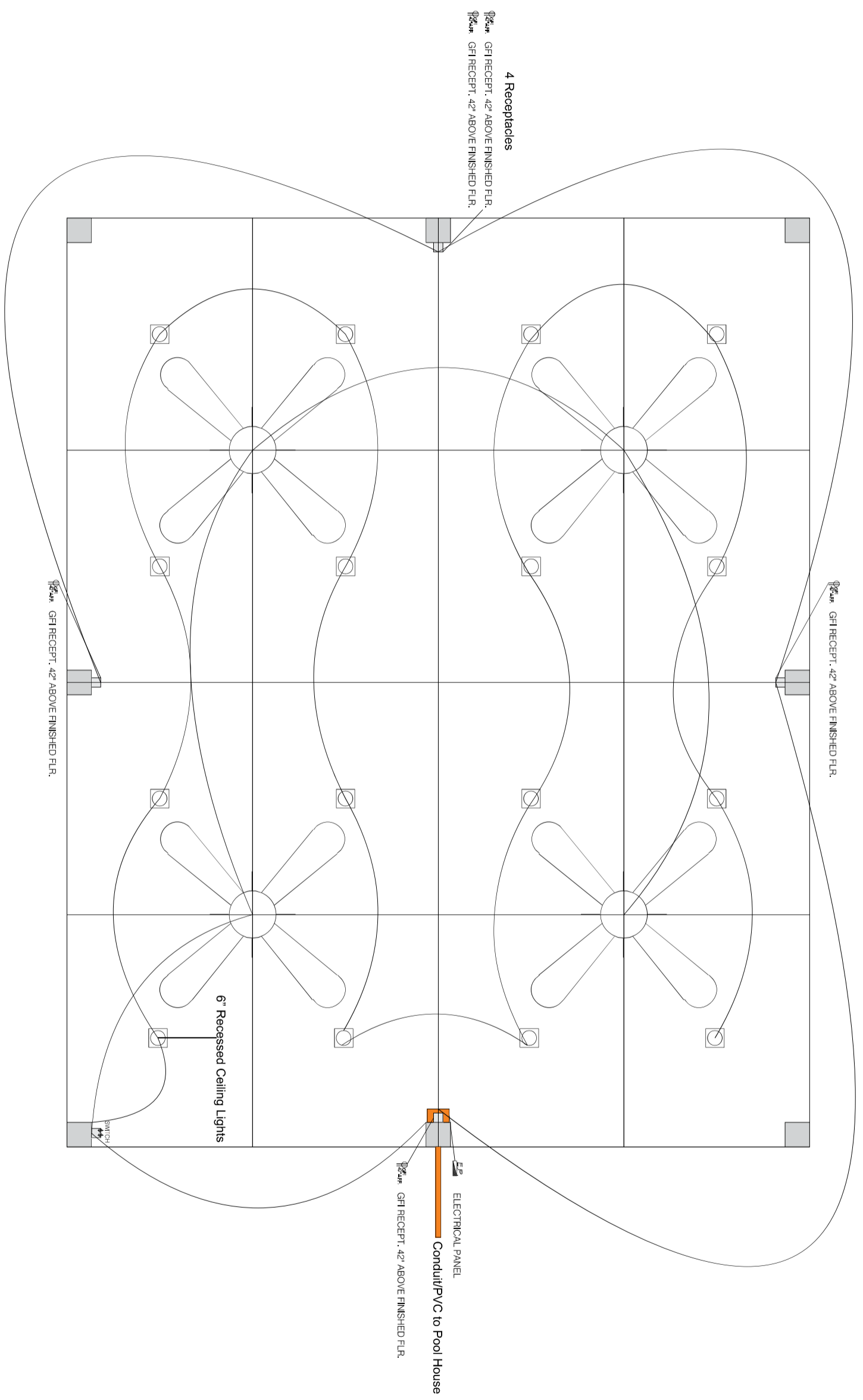


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Tennis Court Pavilion #2 Side Elevation	

E.6

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Electrical Plan Pavilion #1



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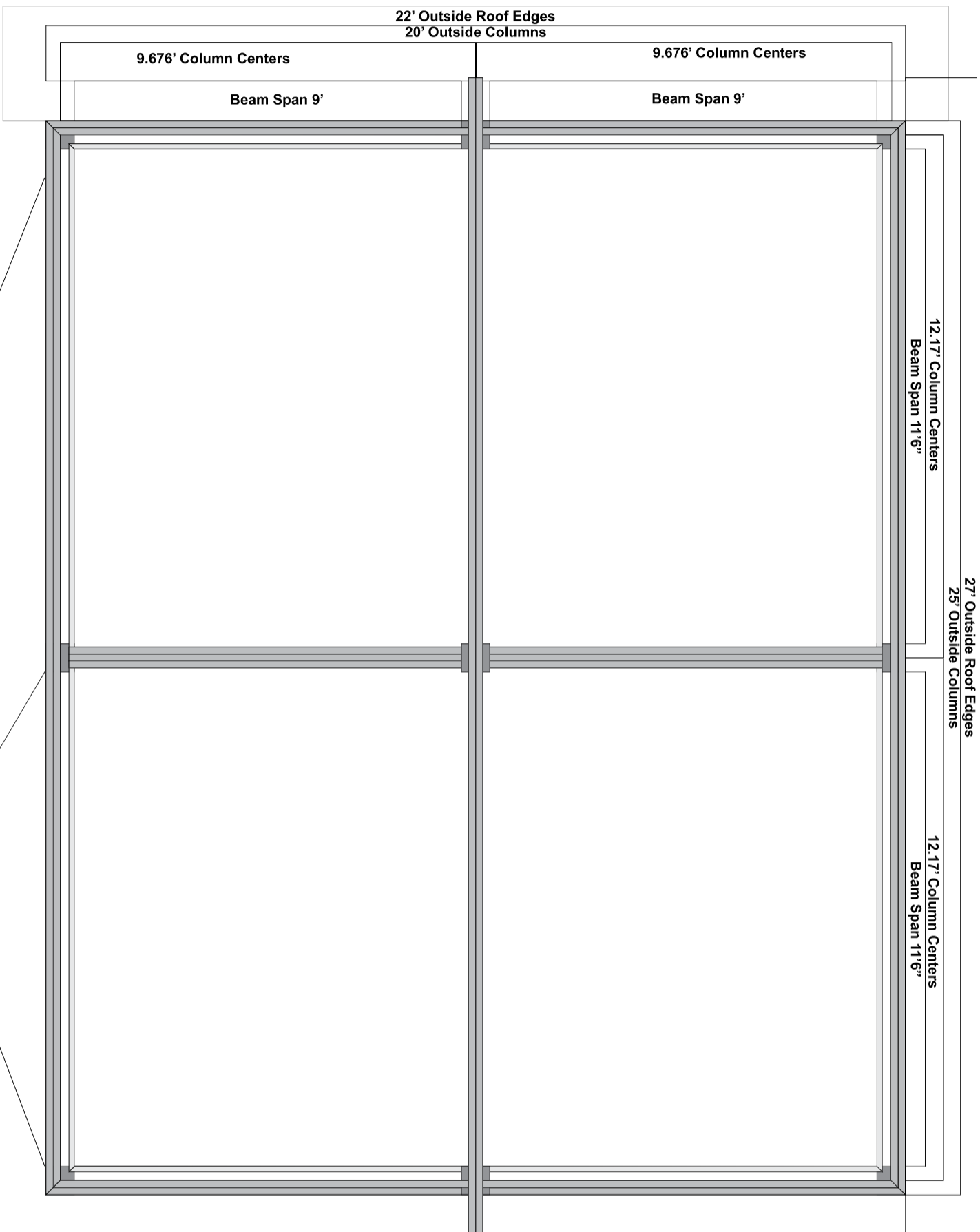
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No.	Date	Description

Electrical Plans
 Pavilion #1




E.8

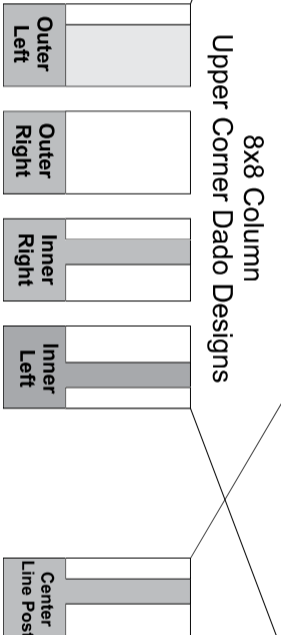
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Column, Headers, & Beams #1



(2) 1.75 x 11.875 LVL
 Ridge Beam

-  2 x 12 Nominal SYP
-  1.875 x 11.875 LVL
-  8 x 8 PTP



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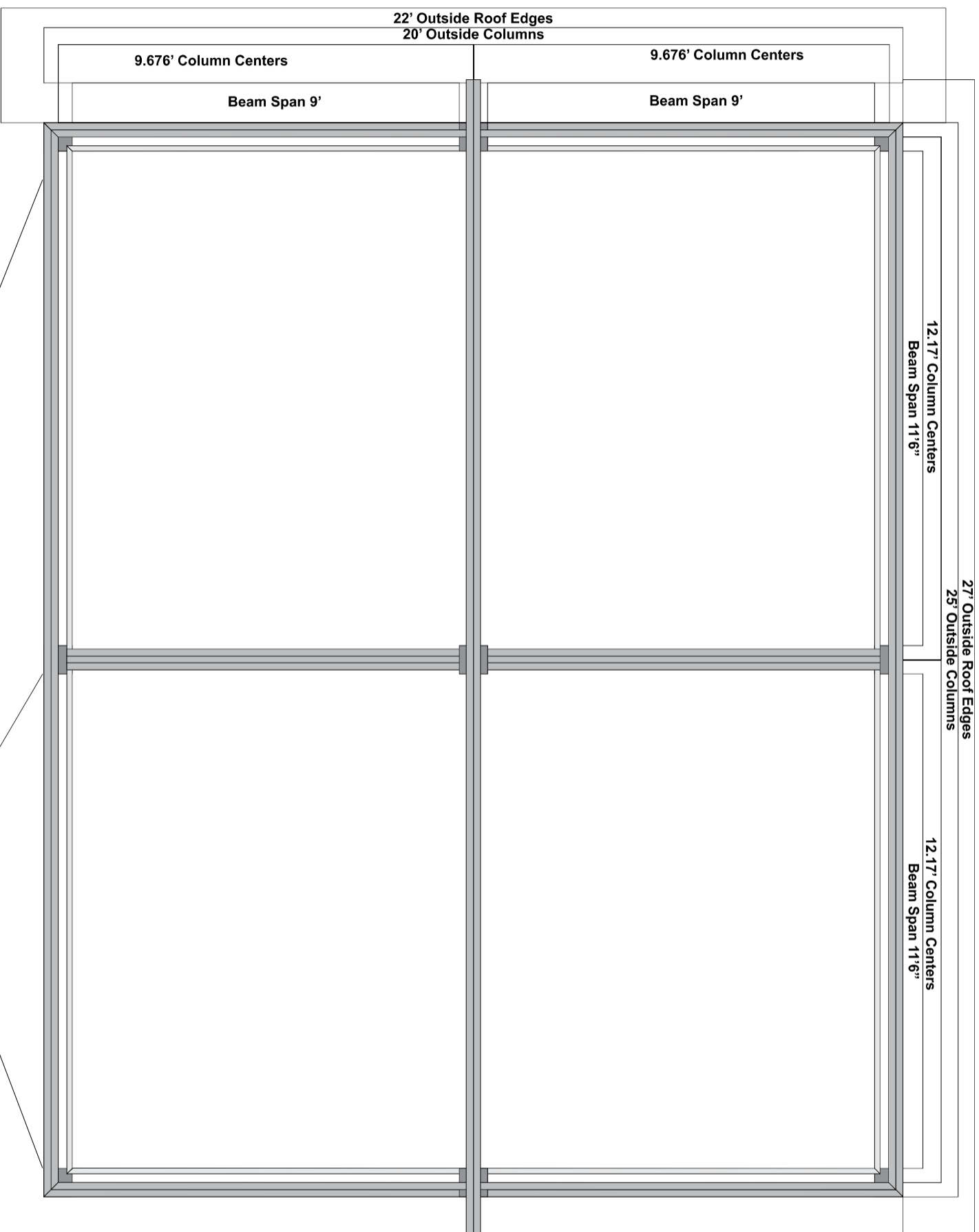
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Column Headers & Beams #1
F.1

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Column, Headers, & Beams #2

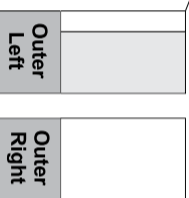


(2) 1.75 x 11.875 LVL
 Ridge Beam

- 2 x 12 Nominal SYP
- 1.875 x 11.875 LVL
- 8 x 8 PTP



Top View



8x8 Column
 Upper Corner Dado Designs

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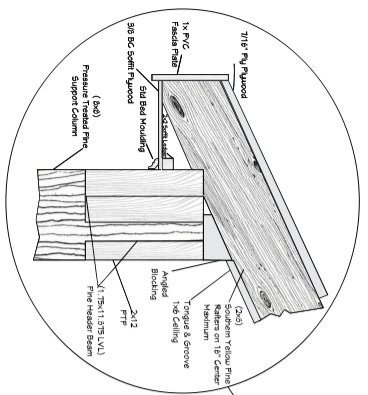
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No.	Date Description

F.2

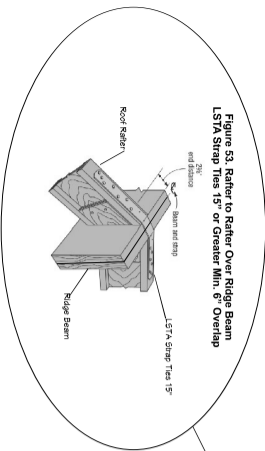
Column Headers & Beams #2

Roof Framing Plan #1

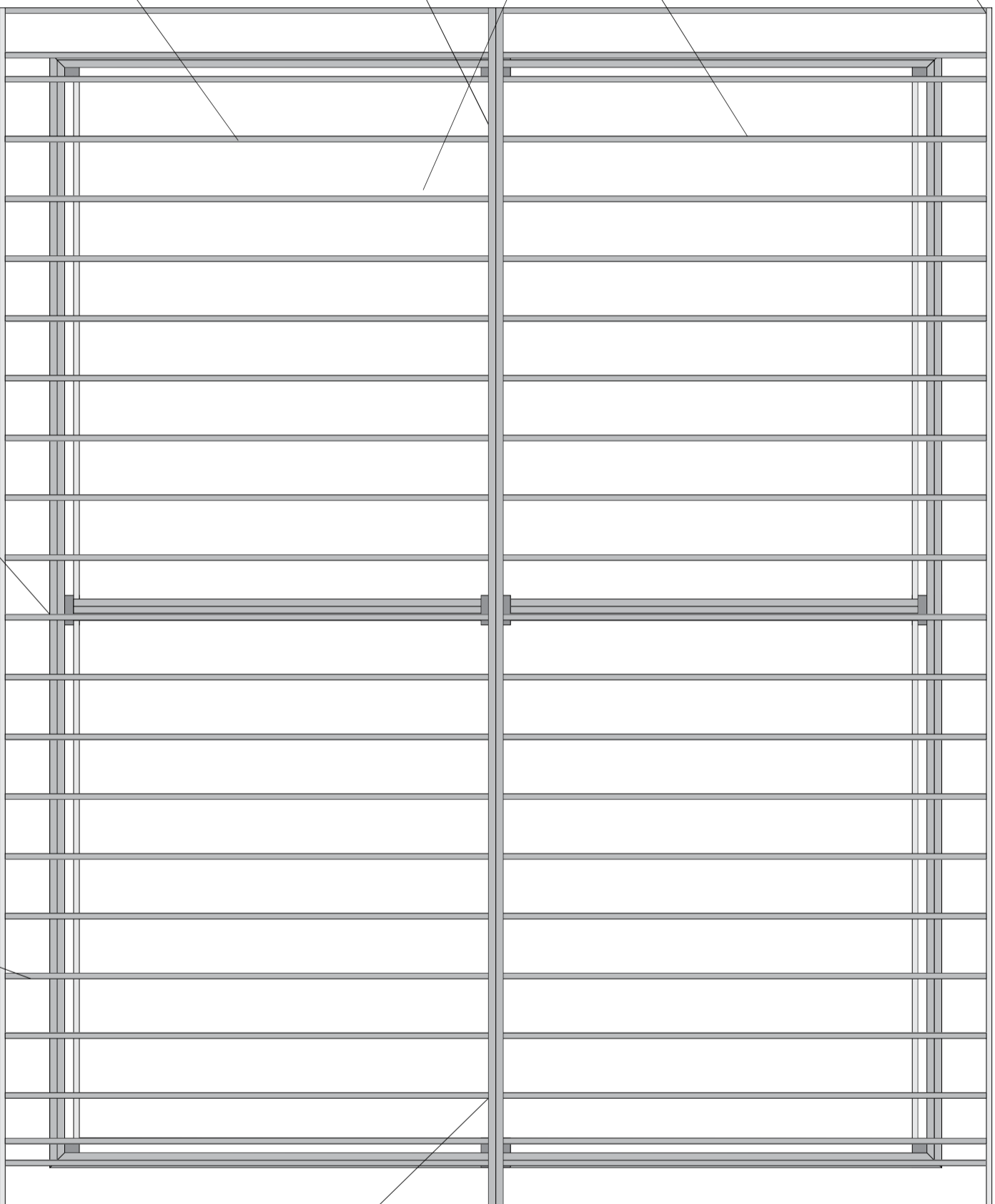
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Install Pine Tongue & Groove 1x6 Under Rrafters



2x8 Rafters SYP
 on 16\"/>





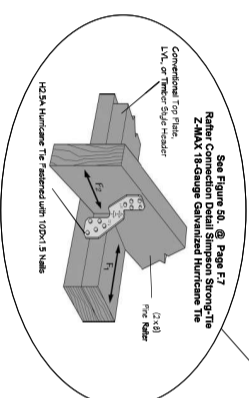
(2)1.875 x 11.875 LVL
 Ridge Beam

Figure 53.A Rafter to Rafter Over Ridge Beam
 U 4x10 Rough/ Face-Mount Joist Hanger
 See Page F.5

12\"/>

Rafter Span
 See T.1

-  2 x 12 Nominal SYP
-  8 x 8 PTP



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No.	Date
	Description

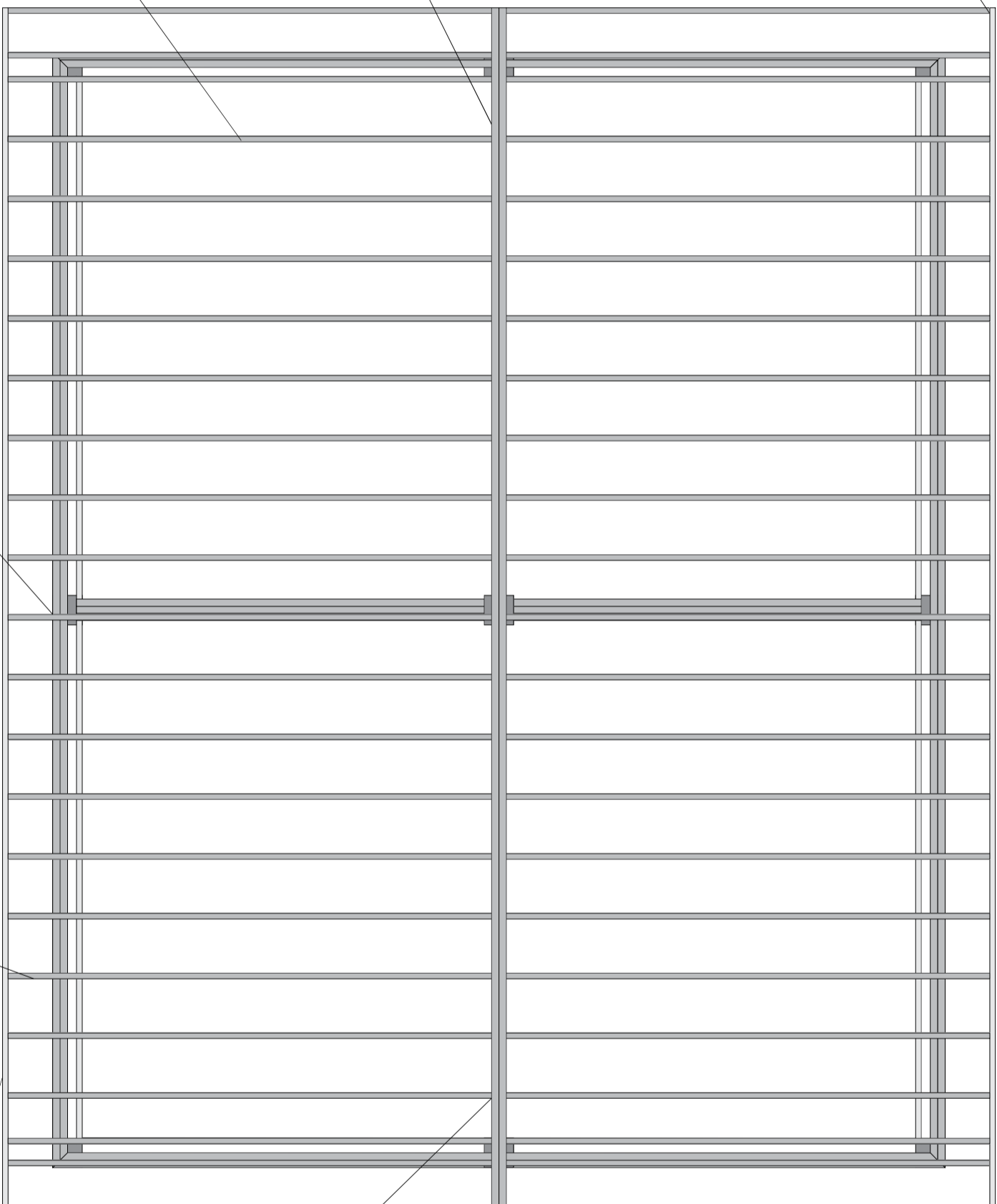
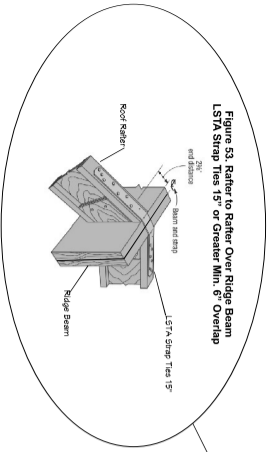
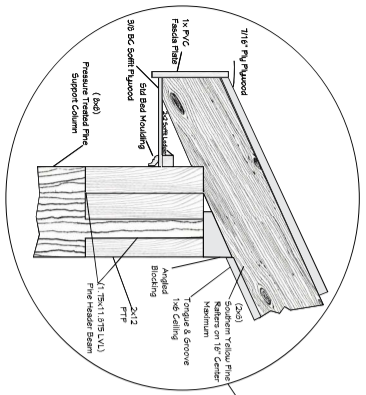
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F.3
 Roof Framing Plan #1

Roof Framing Plan #2

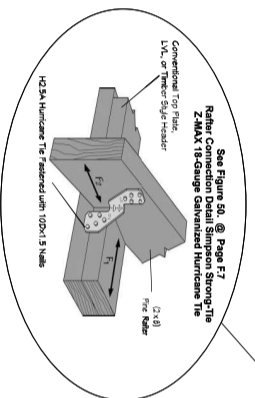
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2x8 Rafter SYP
 on 16" Centers
 6/12 Pitch

2 x 12 Nominal SYP

8 x 8 PTP



Rafter Span
 See T.1

(2) 1.875 x 11.875 LVL
 Ridge Beam

Figure 53.A Rafter to Rafter Over Ridge Beam
 U 4x10 Rough Face-Mount Joist Hanger
 See Page F.5

12" Overhang

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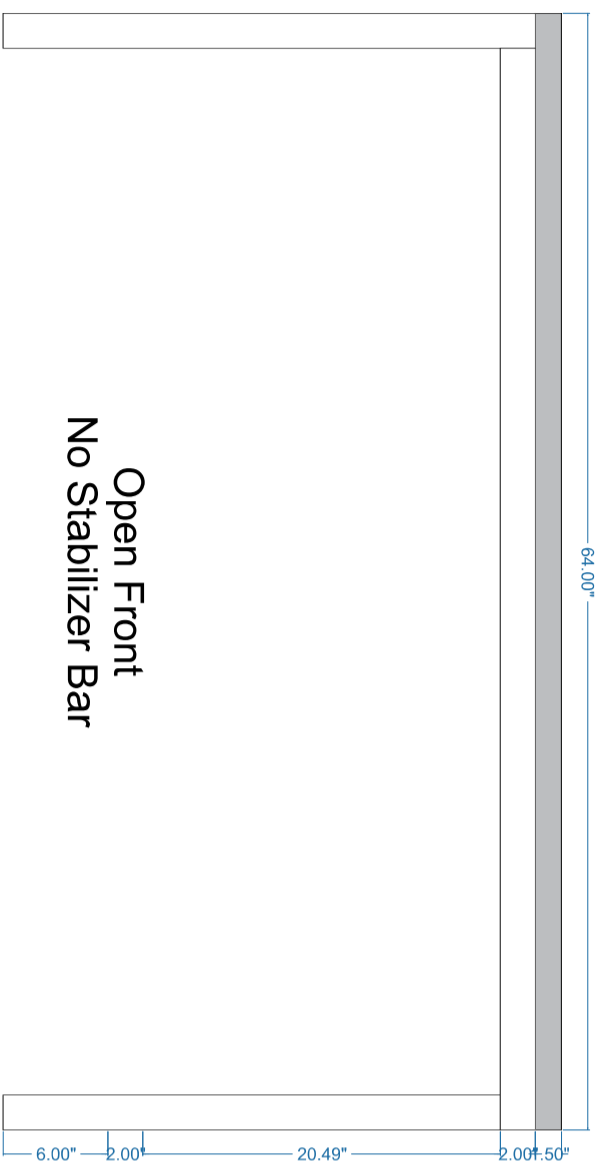
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Roof Framing Plan #2
F.4

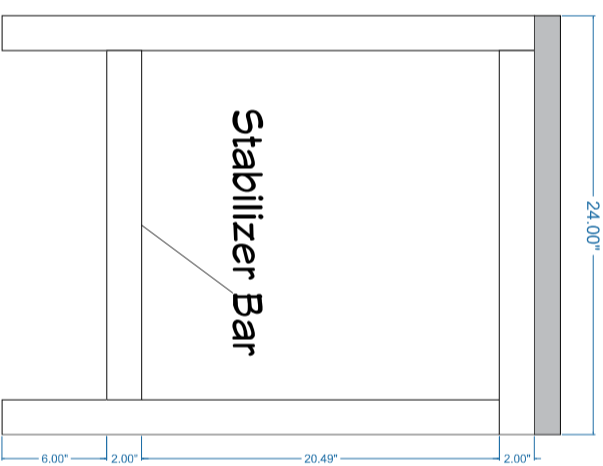
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Table & Bench Details

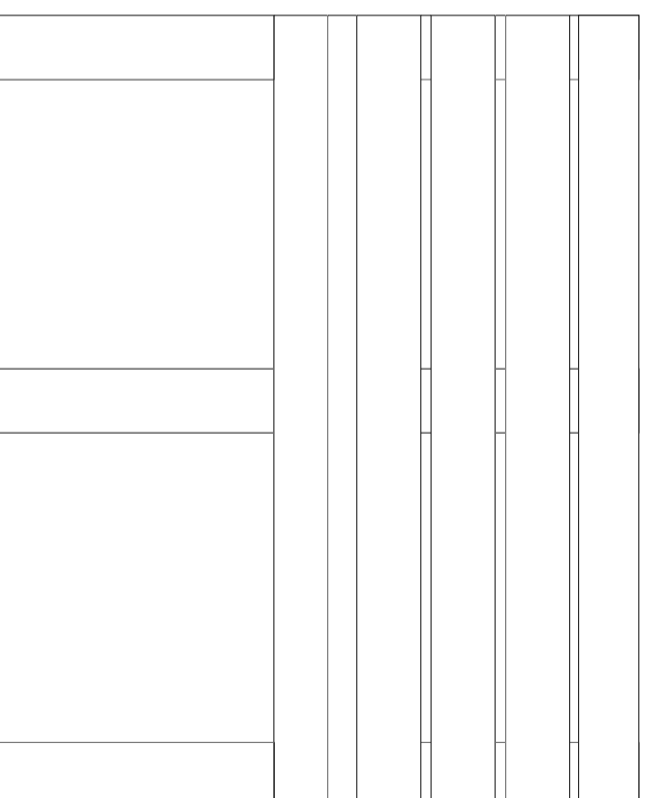
Front View



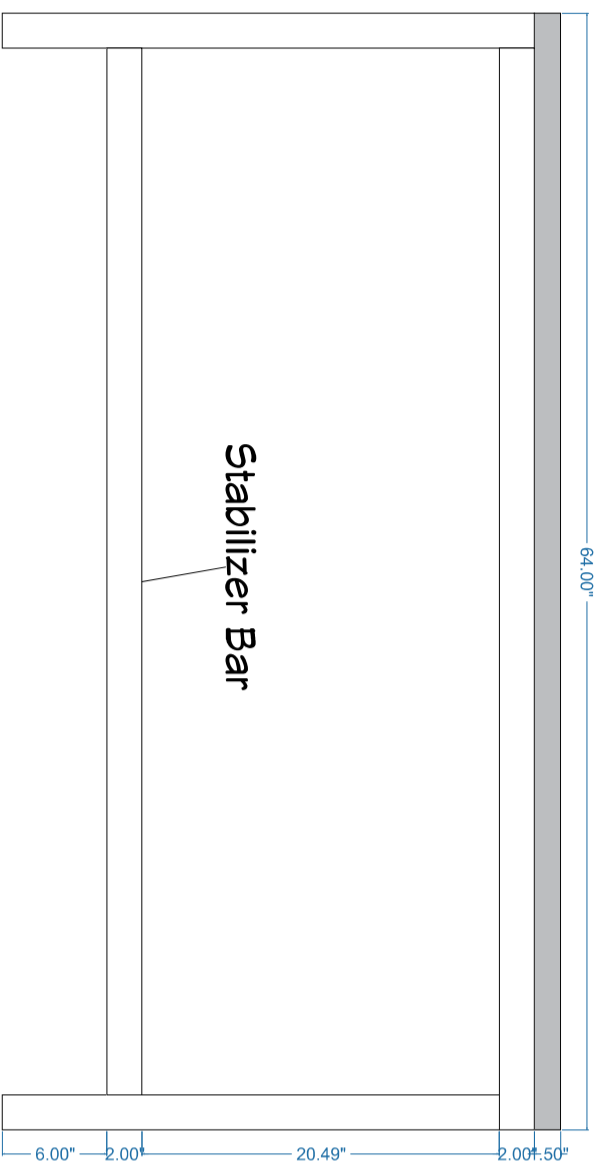
Side View



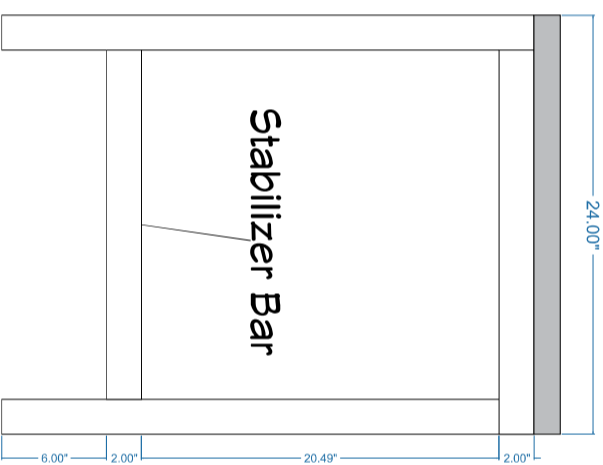
Front View



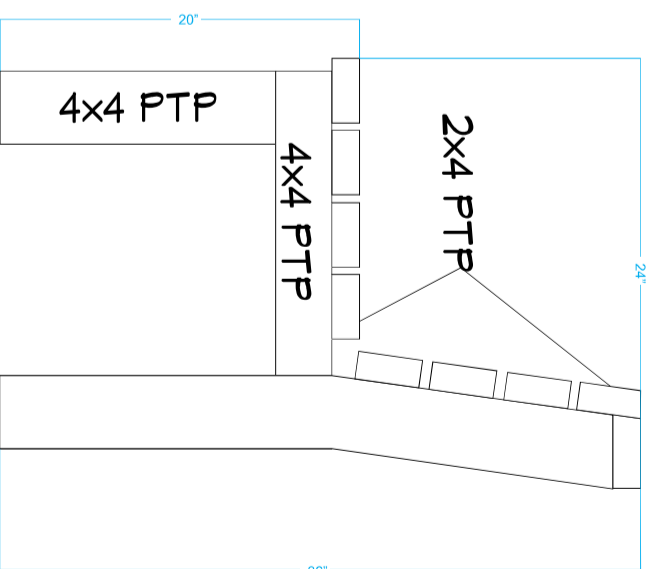
Rear View



Side View



Side View



2' square
 tubing frame

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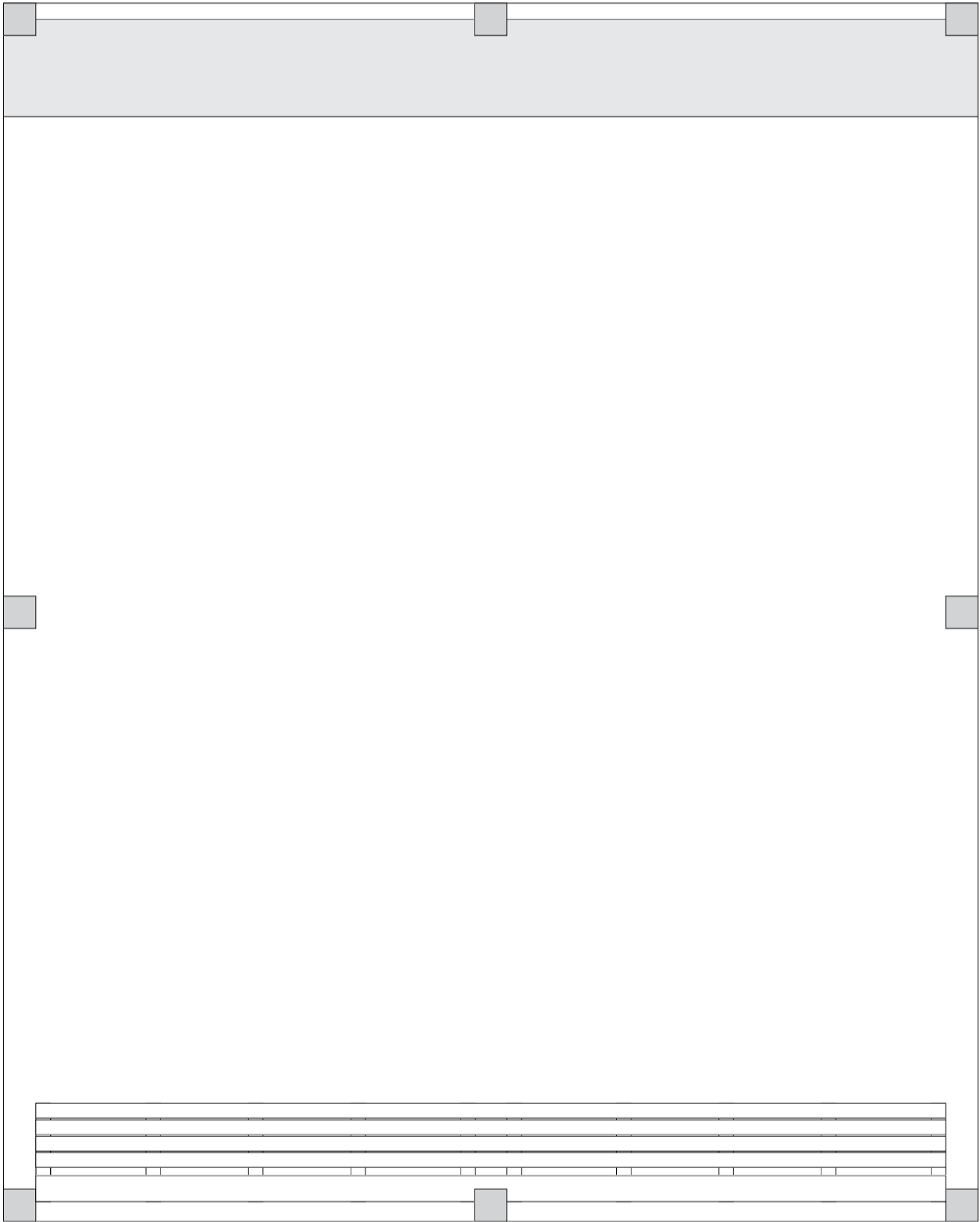
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Overhead Table & Bench Pavilion #2



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Overhead
Table & Bench
Pavilion #2

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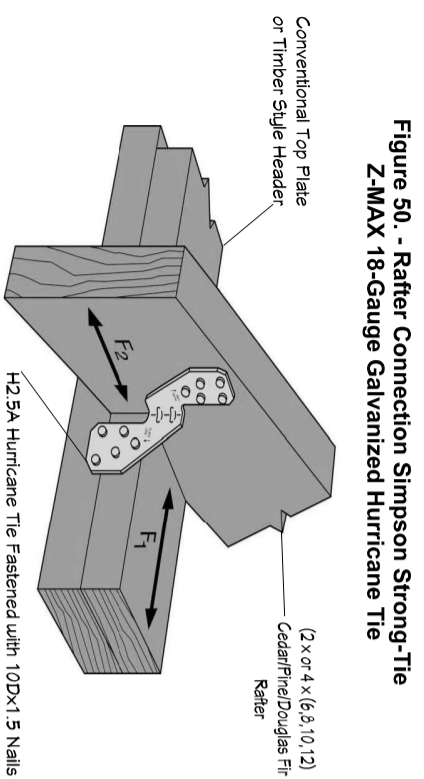


Figure 50. - Rafter Connection Simpson Strong-Tie Z-MAX 18-Gauge Galvanized Hurricane Tie

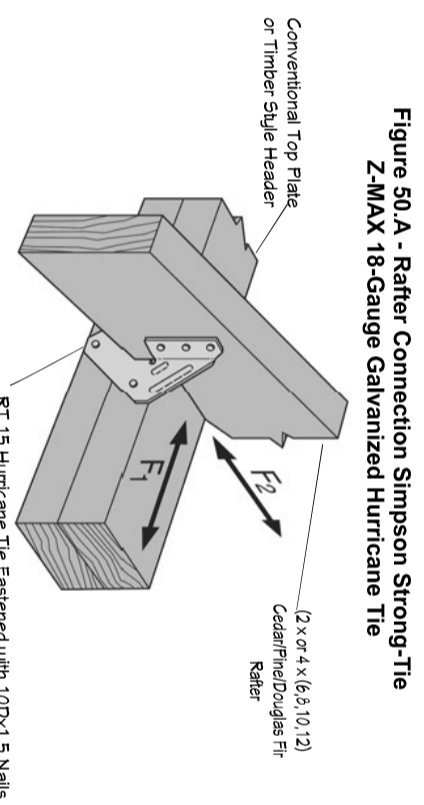


Figure 50.A - Rafter Connection Simpson Strong-Tie Z-MAX 18-Gauge Galvanized Hurricane Tie

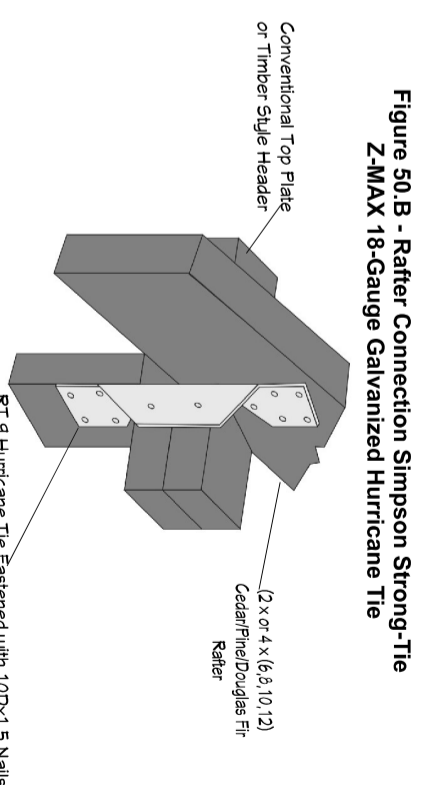


Figure 50.B - Rafter Connection Simpson Strong-Tie Z-MAX 18-Gauge Galvanized Hurricane Tie

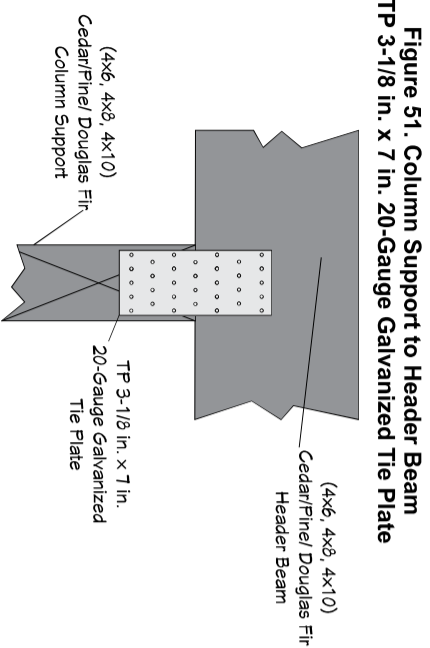


Figure 51. Column Support to Header Beam TP 3-1/8 in. x 7 in. 20-Gauge Galvanized Tie Plate

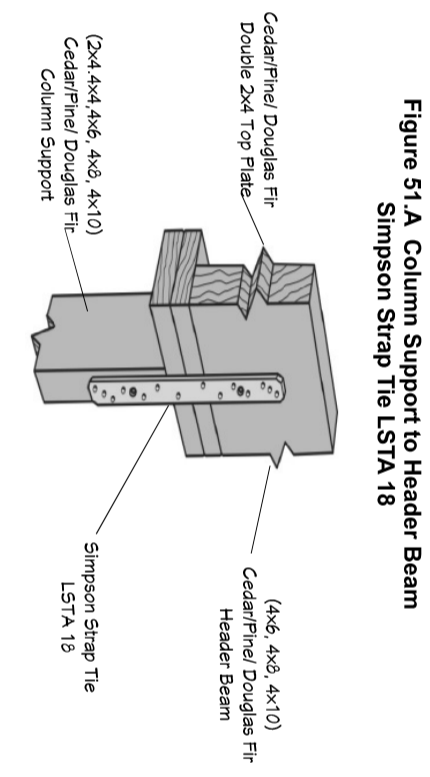


Figure 51.A Column Support to Header Beam Simpson Strap Tie LSTA 18

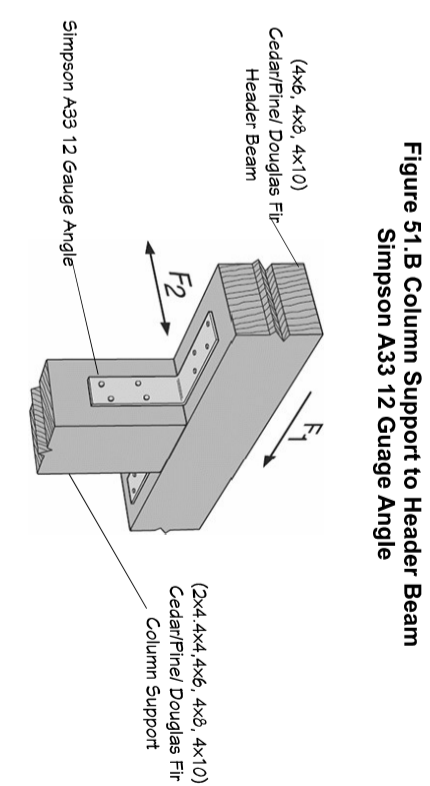


Figure 51.B Column Support to Header Beam Simpson A33 12 Gauge Angle

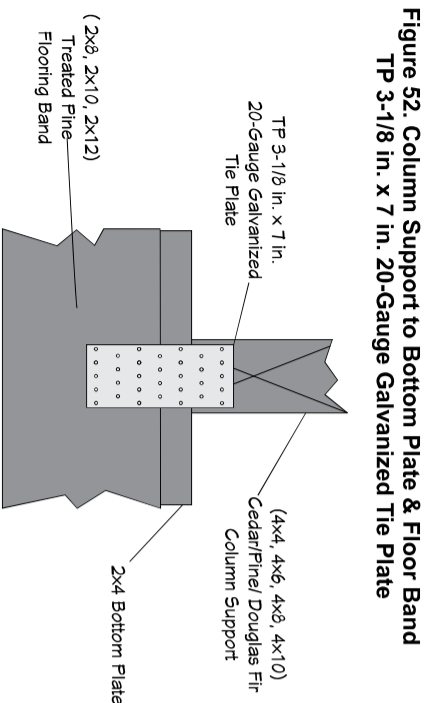


Figure 52. Column Support to Bottom Plate & Floor Band TP 3-1/8 in. x 7 in. 20-Gauge Galvanized Tie Plate

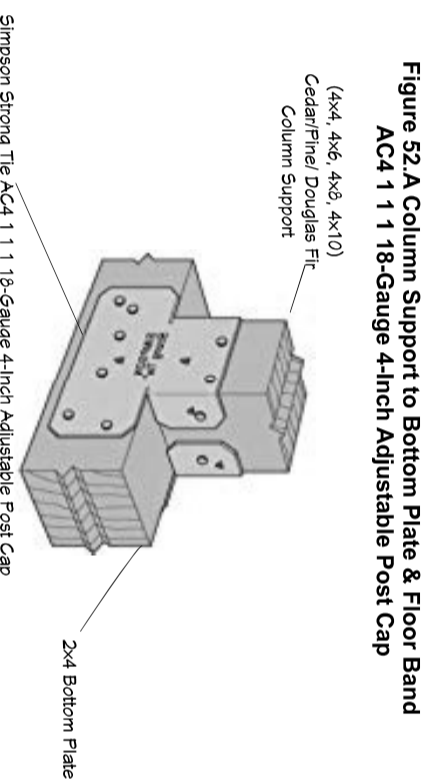


Figure 52.A Column Support to Bottom Plate & Floor Band AC4 1 1 1 18-Gauge 4-Inch Adjustable Post Cap

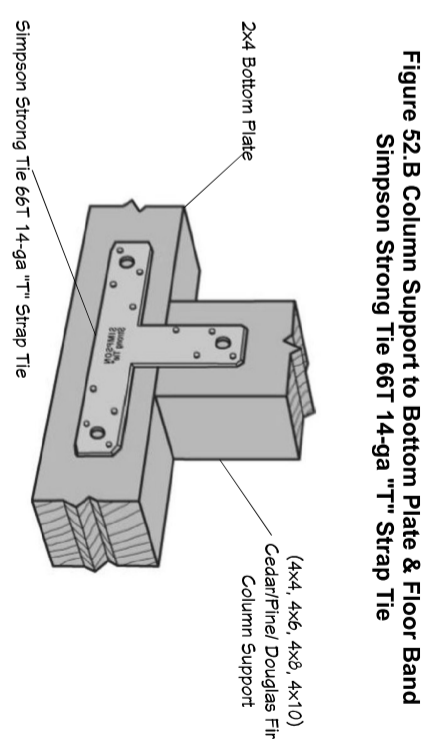


Figure 52.B Column Support to Bottom Plate & Floor Band Simpson Strong Tie 66T 14-ga "T" Strap Tie

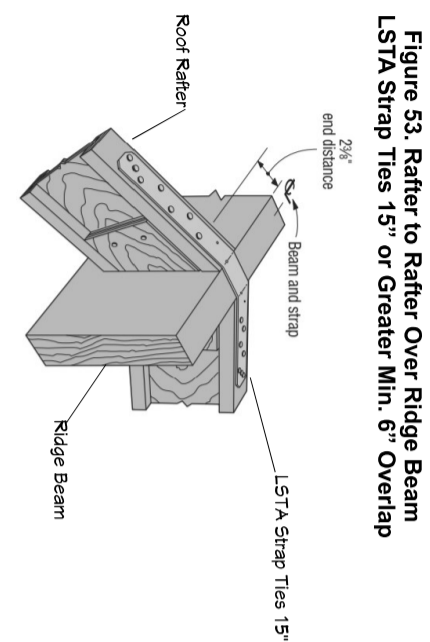


Figure 53. Rafter to Rafter Over Ridge Beam LSTA Strap Ties 15" or Greater Min. 6" Overlap

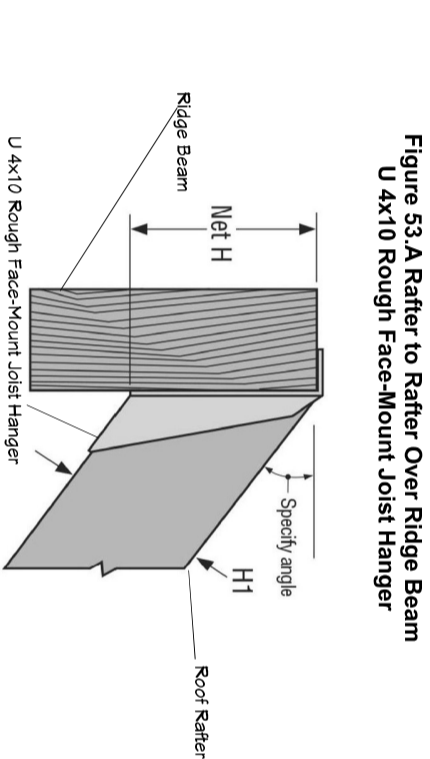


Figure 53.A Rafter to Rafter Over Ridge Beam U 4x10 Rough Face-Mount Joist Hanger

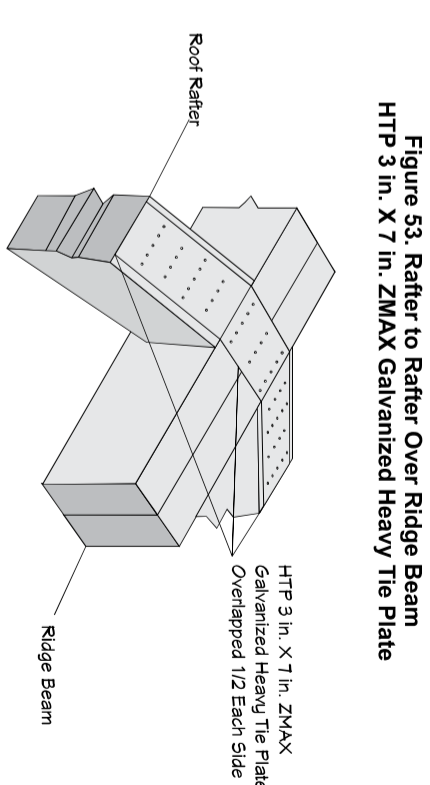


Figure 53. Rafter to Rafter Over Ridge Beam HTP 3 in. X 7 in. ZMAX Galvanized Heavy Tie Plate



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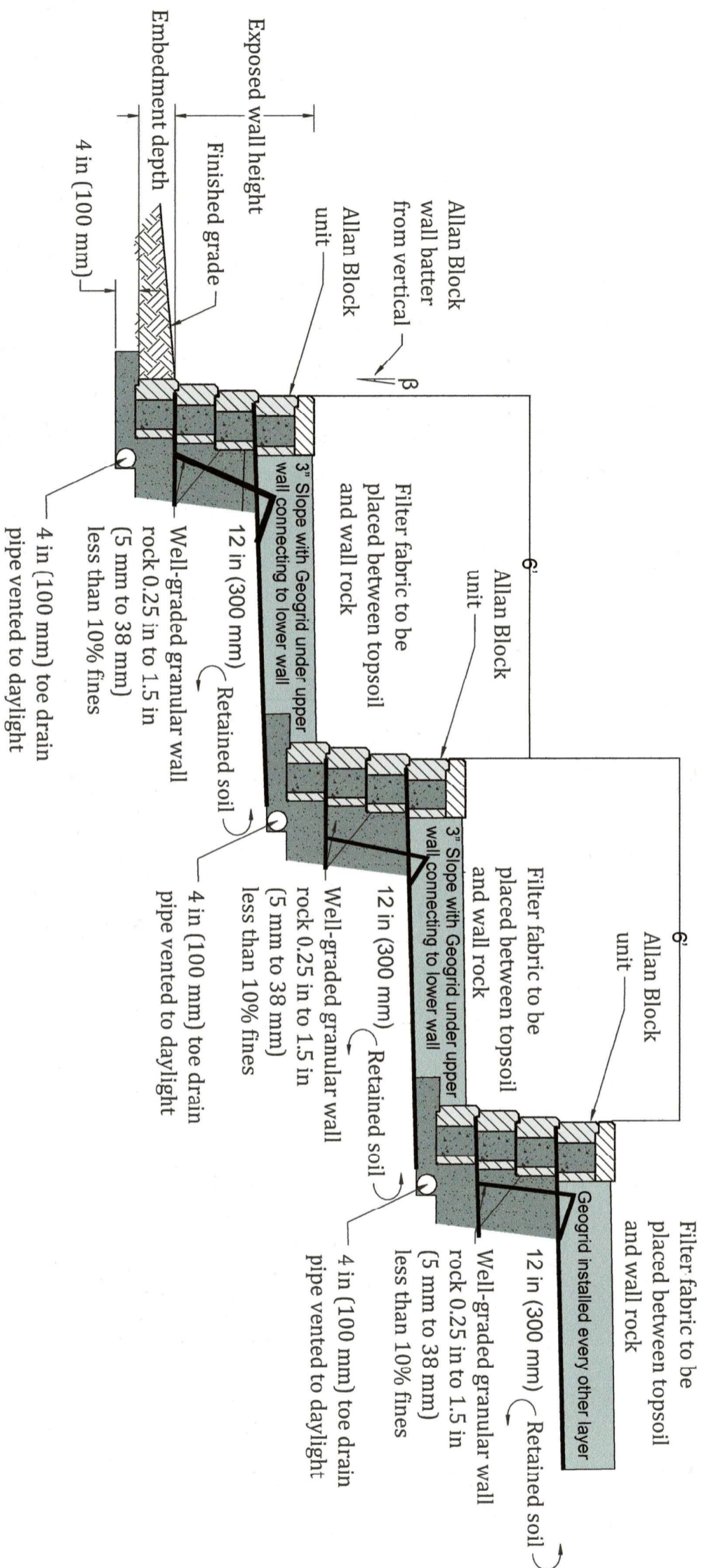
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F.8

Retaining Wall Details



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 Johns Creek, Ga 30097

Praxis
 Business Architecture
 279 West Crogan Street
 Suite 110
 Lawrenceville, Ga. 30044
 Phone 770-338-2171

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TABLE 2308.10.3(6)
RAFTER SPANS FOR COMMON LUMBER SPECIES
(Ground Snow Load = 50 pounds per square foot, Ceiling Attached to Rafters, $L/A = 240$)

RAFTER SPACING (inches)	SPECIES AND GRADE	DEAD LOAD = 10 pounds per square foot						DEAD LOAD = 20 pounds per square foot					
		Maximum rafter spans											
		2 x 4	2 x 6	2 x 8	2 x 10	2 x 12	2 x 4	2 x 6	2 x 8	2 x 10	2 x 12		
12	Douglas Fir-Larch SS	7-8	12-1	15-11	20-3	24-8	7-8	12-1	15-11	20-3	24-0		
	Douglas Fir-Larch #1	7-5	11-7	15-3	18-7	21-7	7-5	11-2	14-1	17-3	20-0		
	Douglas Fir-Larch #2	7-3	11-3	14-3	17-5	20-2	7-1	10-5	13-2	16-1	18-8		
	Douglas Fir-Larch #3	5-10	8-6	10-9	13-2	15-3	5-5	7-10	10-0	12-2	14-1		
	Hem-Fir SS	7-3	11-5	15-0	19-2	23-4	7-3	11-5	15-0	19-2	23-4		
	Hem-Fir #1	7-1	11-2	14-8	18-1	21-0	7-1	10-10	13-9	16-9	19-5		
	Hem-Fir #2	6-9	10-8	14-0	17-2	19-11	6-9	10-3	13-0	15-10	18-5		
	Hem-Fir #3	5-10	8-6	10-9	13-2	15-3	5-5	7-10	10-0	12-2	14-1		
	Southern Pine SS	7-6	11-0	15-7	19-11	24-3	7-6	11-10	15-7	19-11	24-3		
	Southern Pine #1	7-5	11-7	15-4	19-7	23-9	7-5	11-7	15-4	18-9	22-4		
	Southern Pine #2	7-3	11-5	15-0	18-2	21-3	7-3	10-11	14-1	16-10	19-9		
	Southern Pine #3	6-2	9-2	11-8	13-9	16-4	5-9	8-5	10-9	12-9	15-2		
	Spruce-Pine-Fir SS	7-1	11-2	14-8	18-9	22-10	7-1	11-2	14-8	18-9	22-4		
	Spruce-Pine-Fir #1	6-11	10-11	14-3	17-5	20-2	6-11	10-5	13-2	16-1	18-8		
	Spruce-Pine-Fir #2	6-11	10-11	14-3	17-5	20-2	6-11	10-5	13-2	16-1	18-8		
	Spruce-Pine-Fir #3	5-10	8-6	10-9	13-2	15-3	5-5	7-10	10-0	12-2	14-1		
16	Douglas Fir-Larch SS	7-0	11-0	14-5	18-5	22-5	7-0	11-0	14-5	17-11	20-10		
	Douglas Fir-Larch #1	6-9	10-5	13-2	16-1	18-8	6-7	9-8	12-2	14-11	17-3		
	Douglas Fir-Larch #2	6-7	9-9	12-4	15-1	17-6	6-2	9-0	11-5	13-11	16-2		
	Douglas Fir-Larch #3	5-0	7-4	9-4	11-5	13-2	4-8	6-10	8-8	10-6	12-3		
	Hem-Fir SS	6-7	10-4	13-8	17-5	21-2	6-7	10-4	13-8	17-5	20-5		
	Hem-Fir #1	6-5	10-2	12-10	15-8	18-2	6-5	9-5	11-11	14-6	16-10		
	Hem-Fir #2	6-2	9-7	12-2	14-10	17-3	6-1	8-11	11-3	13-9	15-11		
	Hem-Fir #3	5-0	7-4	9-4	11-5	13-2	4-8	6-10	8-8	10-6	12-3		
	Southern Pine SS	6-10	10-9	14-2	18-1	22-0	6-10	10-9	14-2	18-1	22-0		
	Southern Pine #1	6-9	10-7	13-11	17-6	20-11	6-9	10-7	13-8	16-2	19-4		
	Southern Pine #2	6-7	10-2	13-2	15-9	18-5	6-7	9-5	12-2	14-7	17-1		
	Southern Pine #3	5-4	7-11	10-1	11-11	14-2	4-11	7-4	9-4	11-0	13-1		
	Spruce-Pine-Fir SS	6-5	10-2	13-4	17-0	20-9	6-5	10-2	13-4	16-8	19-4		
	Spruce-Pine-Fir #1	6-4	9-9	12-4	15-1	17-6	6-2	9-0	11-5	13-11	16-2		
	Spruce-Pine-Fir #2	6-4	9-9	12-4	15-1	17-6	6-2	9-0	11-5	13-11	16-2		
	Spruce-Pine-Fir #3	5-0	7-4	9-4	11-5	13-2	4-8	6-10	8-8	10-6	12-3		

(continued)

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Rafter Span Table

T.1

Adjustable and Standoff Post Bases

Additional standoff bases are on p. 321.

The AB series of retrofit adjustable post bases provide a 1" standoff for the post, are suited for adjustability and can be installed with nails. Strong-Drive® SD Connector screws or bolts (ABU). Depending on the application needs, these adjustable standoff post bases are designed for versatility, cost-effectiveness and maximum uplift performance.

- Features:**
- The slot in the base enables flexible positioning around the anchor bolt, making precise post placement easier.
 - The 1" standoff helps prevent rot at the end of the post and meets code requirements for structural posts installed in basements or exposed to weather or water splash.

Material: Varies (see table)

Finish: ZMAX® and some in stainless steel; see Corrosion Information, pp. 13-15

Installation:

- Use all specified fasteners; see General Notes.
- See our *Anchoring and Fastening Systems for Concrete and Masonry* catalog, or visit strongtie.com for retrofit anchor options or reference technical bulletin T-ANCHORSPEC.
- Post bases do not provide adequate resistance to prevent members from rotating about the base and therefore are not recommended for non-top-supported installations (such as fences or unbraced carports).
- Place the base, cut washer(s) or load transfer plate(s) and nut(s) on the anchor bolt(s). Make any necessary adjustments to post placement and tighten the nut securely on the anchor bolt.
- See strongtie.com for information on hollow column installation.

ABW

Place the standoff base and then the post in the ABW and fasten on three vertical sides, using nails or Strong-Drive SD Connector screws.

ABU
 Place the standoff base and then the post in the ABU
 – Fasten using nails or Strong-Drive SD Connector screws or bolts (ABU88Z, ABU1010Z, ABU1212Z – SDS optional)

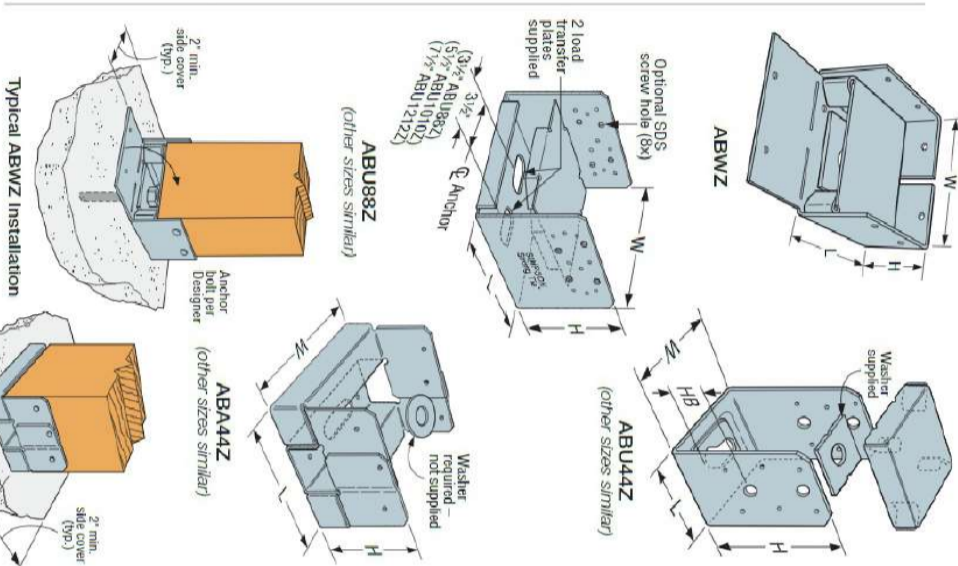
ABA

Place the post in the ABA
 – Fasten using nails or Strong-Drive SD Connector screws
 Codes: See p. 12 for Code Reference Key Chart

Allowable Loads – Beam Installation

Model No.	Nominal Beam Size	Material (ga.)			Dimensions (in.)			Fasteners		DF/SP Allowable Loads		SP/HF Allowable Loads	
		W	L	H	Anchor Dia. (in.)	Nails	Uplift (100)	Down (100)	Uplift (100)	Down (100)			
ABU46Z	Double 2x	12	12	3 3/4	5	7	3/8	(12) 0.162 x 3 1/2	2,030	8,475	1,820	6,075	
ABU46Z	4x	12	12	3 3/4	5	7	3/8	(12) 0.162 x 3 1/2	2,155	9,890	1,850	7,090	
ABU46RZ	Rough 4x	12	12	4	6	6 3/4	3/8	(12) 0.162 x 3 1/2	2,155	9,890	1,850	7,090	
ABU66Z	Triple 2x	12	10	5 1/2	5	6 3/4	3/8	(12) 0.162 x 3 1/2	1,405	12,715	1,165	9,115	
ABU66Z	6x	12	10	5 1/2	5	6 3/4	3/8	(12) 0.162 x 3 1/2	1,905	12,920	1,640	11,710	
ABU66RZ	Rough 6x	12	10	6	6	6 5/8	3/8	(12) 0.162 x 3 1/2	1,905	12,920	1,640	11,710	

- Uplift loads have been increased for earthquake or wind loading with no further increase allowed. Reduce where other loads govern.
- Downloads may not be increased for short-term loading.
- Specifier is to design concrete and anchorage for uplift capacity.
- Beam depth must be a minimum of 7".
- Shims are required for double 2x and triple 2x installations as shown in the illustrations. Additional fastening of shim to beam is not required.
- Fasteners: Nail dimensions in the table are listed diameter by length. See pp. 21-22 for fastener information.



Typical ABWZ Installation

Typical ABU88Z Installation

Typical ABA44Z Installation

Typical ABU44Z Installation

ABU66Z Beam Installation

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Adjustable and Standoff Post Bases (cont.)

These products are available with additional corrosion protection. For more information, see p. 15.

For stainless-steel fasteners, see p. 21.

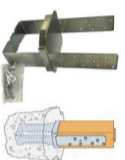
Many of these products are approved for installation with Strong-Drive® SD Connector screws. See pp. 305-307 for more information.

Allowable Loads – Post Installation

Model No.	Nominal Post Size	Material (ga.)			Dimensions (in.)			Fasteners		Allowable Loads (DF/SP)			Code Ref.
		Base	Strap	W	L	H	Anchor Dia. (in.)	Nails	Qty.	Di.	Uplift	Down (100)	
ABA44Z	4x4	16	16	3 3/4	3 3/4	3 3/4	1/2	(6) 0.148 x 3	—	—	725	5,660	
ABW44Z	4x4	16	16	3 3/4	3 3/4	2 1/4	1/2	(6) 0.148 x 3	—	—	1,005	7,180	
ABU44Z	4x4	16	12	3 3/4	3	5 1/2	3/8	(12) 0.162 x 3 1/2	2	1/2	1,900	2,300	7,570
ABU44RZ	Rough 4x4	16	12	4 1/4	3	5 1/4	3/8	(12) 0.162 x 3 1/2	2	1/2	1,900	2,300	7,570
ABA44RZ	Rough 4x4	16	16	4 1/4	3 3/4	2 9/16	1/2	(6) 0.148 x 3	—	—	655	7,215	
ABW44RZ	Rough 4x4	16	16	4 1/4	3 3/4	1 1/8	1/2	(6) 0.148 x 3	—	—	835	7,160	
ABW44Z	4x6	12	16	3 3/4	3	—	1/2	(10) 0.148 x 3	—	—	845	4,590	
ABA46Z	4x6	14	14	3 3/4	5 3/4	3 1/8	3/8	(8) 0.162 x 3 1/2	—	—	870	10,500	
ABU46Z	4x6	12	12	3 3/4	5	7	2 1/2	(12) 0.162 x 3 1/2	2	1/2	2,405	2,265	12,520
ABU46RZ	Rough 4x6	12	12	4 1/4	5	6 3/4	2 1/2	(12) 0.162 x 3 1/2	2	1/2	2,405	2,265	12,520
ABW46RZ	Rough 4x6	12	16	4	6	2 9/16	1/2	(10) 0.148 x 3	—	—	780	4,590	
ABA46RZ	Rough 4x6	14	14	4 1/4	5 3/4	2 1/8	3/8	(8) 0.162 x 3 1/2	—	—	870	10,690	
ABU5-5Z	5 1/2 x 5 1/2	12	10	5 1/4	5	6 3/4	1 1/4	(12) 0.162 x 3 1/2	2	1/2	2,235	2,235	10,570
ABU5-6Z	5 1/2 x 6	12	10	6 1/4	5	6 3/4	1 1/4	(12) 0.162 x 3 1/2	2	1/2	2,235	2,235	10,570
ABA66Z	6x6	14	14	5 1/2	5 3/8	3 1/8	3/8	(8) 0.162 x 3 1/2	—	—	850	10,575	
ABW66Z	6x6	12	14	5 1/2	5 3/8	3	1/2	(12) 0.148 x 3	—	—	1,190	12,935	
ABU66Z	6x6	12	10	6 1/4	5	6 3/4	1 1/4	(12) 0.162 x 3 1/2	2	1/2	2,475	2,190	18,205
ABA66RZ	Rough 6x6	14	14	6	5 3/4	2 1/8	3/8	(8) 0.162 x 3 1/2	—	—	850	11,465	
ABW66RZ	Rough 6x6	12	14	6	6	2 5/8	1/2	(12) 0.148 x 3	—	—	1,065	12,935	
ABW7-7Z	7 1/2 x 7 1/2	12	14	7 1/4	7 3/8	3	1/2	(12) 0.148 x 3	—	—	840	14,535	
ABU88Z	8x8	14	12	7 1/2	7	7	3/8	(18) 0.162 x 3 1/2	—	—	2,570	23,140	
ABU88RZ	Rough 8x8	14	12	8	7	7	3/8	(18) 0.162 x 3 1/2	—	—	2,450	18,045	
ABU1010Z	10x10	14	14	9 1/2	9	7 1/4	3/8	(22) 0.162 x 3 1/2	—	—	2,270	32,020	
ABU1010RZ	Rough 10x10	14	14	10	9	7	3/8	(22) 0.162 x 3 1/2	—	—	1,830	31,850	
ABU1212Z	12x12	12	12	11 1/2	11	7 1/4	3/8	(22) 0.162 x 3 1/2	—	—	3,000	28,070	
ABU1212RZ	Rough 12x12	12	12	12	11	7	3/8	(22) 0.162 x 3 1/2	—	—	3,000	28,070	

- Uplift loads have been increased for earthquake or wind loading with no further increase allowed. Reduce where other loads govern.
- Downloads may not be increased for short-term loading.
- Specifier is to design concrete and anchorage for uplift capacity.
- ABU products may be installed with either bolts or nails (not both) to achieve table loads. ABU88Z, ABU88RZ, ABU1010Z, ABU1010RZ, and ABU1212Z/RZ may be installed with (6) 1/2" x 3" Strong-Drive® SDG Heavy-Duty Connector screws (sold separately) for the same table load.
- For higher downloads, pack grout solid under 1" standoff plate before installation. Base download on column or concrete, according to the code.
- HB dimension is the distance from the bottom of the post up to the first bolt hole.
- Structural composite lumber columns have sides that show either the wide face or the edges of the lumber strands/workers. For SCL columns, the fasteners for these products should always be installed in the wide face.
- Fasteners: Nail dimensions in the table are listed diameter by length. See pages pp. 21-22 for fastener information.

Simpson Strong-Tie CBSQ88-SDS2 Standoff 8 X 8 Column Base



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Column Base Table

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 Business Architecture
 279 West Crogan Street
 Suite 111
 Lawrenceville, Ga. 30044
 Phone 770-338-2171

Shakerag Homeowners Association
 7220 Devonhall Way
 Johns Creek, Ga 30097

FLOOD HAZARD STATEMENT

I HAVE THIS DATE, EXAMINED THE "FIA FLOOD HAZARD MAP" AND FOUND IN MY OPINION REFERENCED PARCEL IS NOT IN AN AREA HAVING SPECIAL FLOOD HAZARDS.

PANEL 13121C0092G
ZONE "X"

EFFECTIVE DATE: 09/18/2013



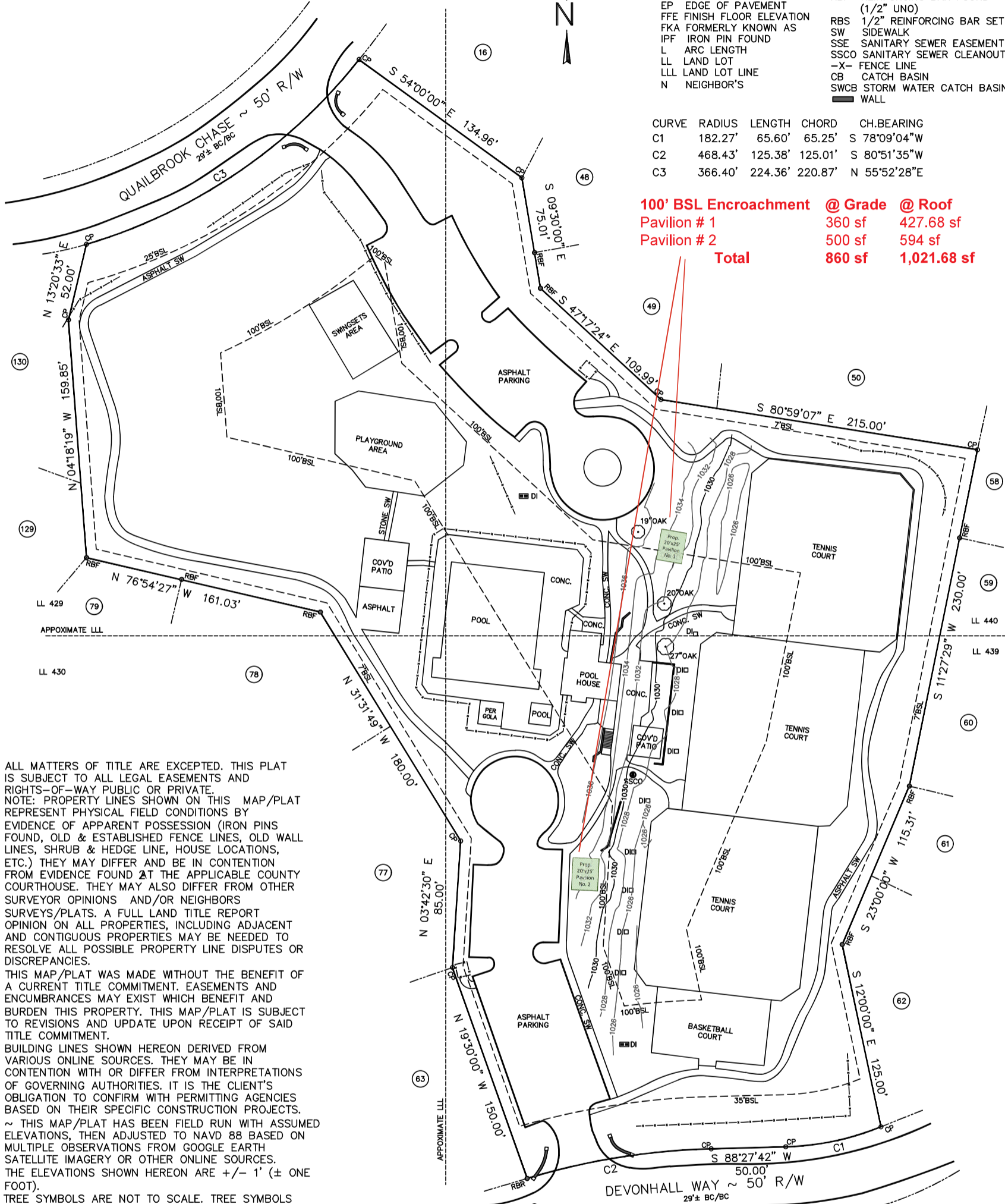
*** LEGEND ***

NOTE: ALL ITEMS IN THIS LEGEND MAY NOT APPEAR ON THIS PLAT.
 AKA ALSO KNOWN AS
 APD AS PER DEED
 APP AS PER PLAT
 BSL BUILDING (SETBACK) LINE
 CP COMPUTED POINT
 CTP CRIMP TOP PIPE FOUND
 D DEED (BOOK/PAGE)
 DW DRIVEWAY
 EP EDGE OF PAVEMENT
 FFE FINISH FLOOR ELEVATION
 FKA FORMERLY KNOWN AS
 IPF IRON PIN FOUND
 L ARC LENGTH
 LL LAND LOT
 LLL LAND LOT LINE
 N NEIGHBOR'S

N/F NOW OR FORMERLY
 NAIL NAIL FOUND
 P PLAT (BOOK/PAGE)
 POB POINT OF BEGINNING
 POC POINT OF COMMENCEMENT
 R RADIUS LENGTH
 R/W RIGHT-OF-WAY
 RBF REINFORCING BAR FOUND
 (1/2" UNO)
 RBS 1/2" REINFORCING BAR SET
 SW SIDEWALK
 SSE SANITARY SEWER EASEMENT
 SSCO SANITARY SEWER CLEANOUT
 -X- FENCE LINE
 CB CATCH BASIN
 SWCB STORM WATER CATCH BASIN
 WALL

CURVE	RADIUS	LENGTH	CHORD	CH.BEARING
C1	182.27'	65.60'	65.25'	S 78°09'04"W
C2	468.43'	125.38'	125.01'	S 80°51'35"W
C3	366.40'	224.36'	220.87'	N 55°52'28"E

100' BSL Encroachment	@ Grade	@ Roof
Pavilion # 1	360 sf	427.68 sf
Pavilion # 2	500 sf	594 sf
Total	860 sf	1,021.68 sf



ALL MATTERS OF TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHTS-OF-WAY PUBLIC OR PRIVATE. NOTE: PROPERTY LINES SHOWN ON THIS MAP/PLAT REPRESENT PHYSICAL FIELD CONDITIONS BY EVIDENCE OF APPARENT POSSESSION (IRON PINS FOUND, OLD & ESTABLISHED FENCE LINES, OLD WALL LINES, SHRUB & HEDGE LINE, HOUSE LOCATIONS, ETC.) THEY MAY DIFFER AND BE IN CONTENTION FROM EVIDENCE FOUND AT THE APPLICABLE COUNTY COURTHOUSE. THEY MAY ALSO DIFFER FROM OTHER SURVEYOR OPINIONS AND/OR NEIGHBORS SURVEYS/PLATS. A FULL LAND TITLE REPORT OPINION ON ALL PROPERTIES, INCLUDING ADJACENT AND CONTIGUOUS PROPERTIES MAY BE NEEDED TO RESOLVE ALL POSSIBLE PROPERTY LINE DISPUTES OR DISCREPANCIES.

THIS MAP/PLAT WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT. EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY. THIS MAP/PLAT IS SUBJECT TO REVISIONS AND UPDATE UPON RECEIPT OF SAID TITLE COMMITMENT.

BUILDING LINES SHOWN HEREON DERIVED FROM VARIOUS ONLINE SOURCES. THEY MAY BE IN CONTENTION WITH OR DIFFER FROM INTERPRETATIONS OF GOVERNING AUTHORITIES. IT IS THE CLIENT'S OBLIGATION TO CONFIRM WITH PERMITTING AGENCIES BASED ON THEIR SPECIFIC CONSTRUCTION PROJECTS.

~ THIS MAP/PLAT HAS BEEN FIELD RUN WITH ASSUMED ELEVATIONS, THEN ADJUSTED TO NAVD 88 BASED ON MULTIPLE OBSERVATIONS FROM GOOGLE EARTH SATELLITE IMAGERY OR OTHER ONLINE SOURCES. THE ELEVATIONS SHOWN HEREON ARE +/- 1' (± ONE FOOT).

TREE SYMBOLS ARE NOT TO SCALE. TREE SYMBOLS REPRESENT POSITION OF TREE & ARE NOT THE CRITICAL ROOT ZONE (NOT DRIPLINE).

NOTE: ANY & ALL UNDERGROUND UTILITIES, I.E. SEWER, STORM, GAS, WATER, ETC., HAVE NOT BEEN FIELD LOCATED BY CONVENTIONAL SURVEY METHODS.

PROPERTY ADDRESS: 7220 DEVONHALL WAY, DULUTH, GA 30097

PLAT PREPARED FOR: 7220 DEVONHALL WAY

UNIT 2 SUBDIVISION DEVONHALL PARCEL ID: 11117204290838
 LAND LOT 428,430,439 & 440 1st DISTRICT BY:

FULTON COUNTY, GEORGIA FIELD DATE: 07-12-2023 NH
 CITY OF JOHNS CREEK DRAWN DATE: 07-13-2023 AE

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 10,000+ FEET, AN ANGULAR ERROR OF +/- 1 SECOND PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 30,000+ FEET. AN ELECTRONIC TOTAL STATION WAS USED IN THE PREPARATION OF THIS PLAT. NO STATE PLANE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.

THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. 15-6-67.

IMPERVIOUS (IN SQUARE FEET)	
POOL HOUSE	1386
POOL	5249
TENNIS COURTS	39257
BASKETBALL COURT	3460
COLUMN	32
ASPHALT SW	8692
STONE SW	100
CONCRETE	5583
CONC. SW	5652
ASPHALT PARKING	29060
PLAYGROUND AREA	4691
SWINGSSETS AREA	1982
DECK	208
PERGOLA	252
COVERED PATIO	1968
STEPS	105
WALL	243
TOTAL IMPERVIOUS	107920

RECEIVED
 Y-24-0010
 September 30, 2024
PLANNING & ZONING

BSL Encroachment Calculation	
Issued Date	
Project No.	
Revisions	
No. Date Description	
PBA	

Praxis
 Business Architecture
 279 West Crogan Street
 Suite 110
 Lawrenceville, Ga. 30044
 Phone 770-338-2171

Shakerag Homeowners Association
 7220 Devonhall Way
 Johns Creek, Ga 30097

LEGAL DESCRIPTION – 7220 DEVONHALL WAY, JOHNS CREEK, GA

ALL THAT TRACT OR PARCEL OF LAND BEING AND LYING IN LAND LOTS 429, 430, 439, AND 440 OF THE 1ST SECTION, 1ST DISTRICT OF FULTON COUNTY, GEORGIA, AS BEING RECREATION AREA, UNIT 2 OF THE DEVONHALL SUBDIVISION, AS PER RECORDED IN PLAT BOOK PAGE 177, PAGE 8 FULTON COUNTY GEORGIA, WHICH RECORDED PLAT IS INCORPORATED HEREIN BY THIS REFERENCE AND MADE A PART OF THIS LEGAL DESCRIPTION, SAID PROPERTY BEING KNOWN AS 7220 DEVONHALL WAY, JOHNS CREEK, GEORGIA, ACCORDING TO THE PRESENT SYSTEMS OF NUMBERING PROPERTY IN FULTON COUNTY, GEORGIA, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS.

TO FIND THE POINT OF BEGINNING, BEGIN AT A REBAR SET AT THE SOUTHEAST CORNER OF THE DEVONHALL RECREATION AREA AND THE SOUTHEAST CORNER OF LOT 62 LOCATED ON THE DEVONHALL WAY RIGHT OF WAY, (50' RIGHT OF WAY), PER PLAT BOOK 177, PAGE 8, AND THE POINT OF BEGINNING; THENCE TRAVEL ALONG A CURVE WHOSE RADIUS IS 182.27' LENGTH 65.60' CHORD 65.26' AND BEARING SOUTH 78°09'04" WEST TO A POINT; THENCE S 88°27'42" WEST A DISTANCE OF 50.00' TO A POINT; THENCE ALONG A CURVE WITH RADIUS 468.43' LENGTH 123.38' CHORD 125.01' AND BEARING SOUTH 60°51'35" WEST TO A REBAR FOUND; THENCE NORTH 19°30'00" WEST A DISTANCE OF 150.00' TO A POINT; THENCE NORTH 03°42'30" EAST A DISTANCE OF 85.00' TO A POINT; THENCE NORTH 31°31'49" WEST A DISTANCE OF 180.00' TO A REBAR FOUND; THENCE NORTH 76°54'27" WEST A DISTANCE OF 161.03' TO A REBAR FOUND; THENCE NORTH 04°18'19" WEST A DISTANCE OF 159.85' TO A POINT; THENCE NORTH 13°20'33" EAST A DISTANCE OF 52.00' TO A POINT; THENCE ALONG A CURVE WITH RADIUS 366.40' LENGTH 224.36' CHORD 220.87' AND BEARING NORTH 55°52'28" EAST TO A POINT; THENCE SOUTH 54°00'00" EAST A DISTANCE OF 134.96' TO A POINT; THENCE SOUTH 09°30'00" EAST A DISTANCE OF 75.00' TO A REBAR FOUND; THENCE SOUTH 47°17'24" EAST A DISTANCE OF 110.00' TO A POINT; THENCE SOUTH 80°59'07" EAST A DISTANCE OF 215.00' TO A POINT; THENCE SOUTH 11°27'29" WEST 230.00 TO A REBAR; SOUTH 23°00'00" WEST TO A REBAR FOUND; THENCE SOUTH 12°00'00" EAST A DISTANCE OF 125.00' TO A POINT AND THE POINT OF BEGINNING, SAID TRACT CONTAINING 240,614 SQUARE FEET, 5.524 ACRES AS PER SURVEY BY SURVEY SYSTEMS & ASSOCIATES, INC., GERALD H. BERNHARD, RLS #2688, DATED 10-17-2019 AND UPDATED 08-22-2023.

RECEIVED
V-24-0010
September 30, 2024
PLANNING & ZONING