



Land Use Petition RZ-25-0002, VC-25-0010, & VC-25-0011

Application Date: August 5, 2025

Public Participation Meeting: September 4, 2025

Planning Commission Meeting: November 5, 2025


City Council Meeting: November 17, 2025

PROJECT LOCATION:	11300 Johns Creek Parkway
DISTRICT/SECTION/LAND LOT:	1 st District, 1 st Section, Land Lot 398
ACREAGE:	2.0 acres
CURRENT ZONING:	M-1A (Industrial Park District) Conditional
PROPOSED ZONING:	O-I (Office Institutional District)
COMPREHENSIVE PLAN COMMUNITY AREA DESIGNATION:	Tech Park
APPLICANT:	JWG, Inc. c/o J. Alexander Brock, Smith, Gambrell & Russell, LLP 1105 W Peachtree Street NE. Suite 1000 Atlanta, GA 30309
OWNER:	JWG, Inc. c/o Mike Sim Brentwood, TN 37027
PROPOSED DEVELOPMENT:	Allow private college to use existing office building with two concurrent variances: <ol style="list-style-type: none">1. VC-25-0010: Reduce required parking spaces from 77 to 60 spaces2. VC-25-0011: Allow existing parking lot to encroach into the minimum front yard and side corner yard setbacks
STAFF RECOMMENDATION:	Approval with Conditions

Aerial Map

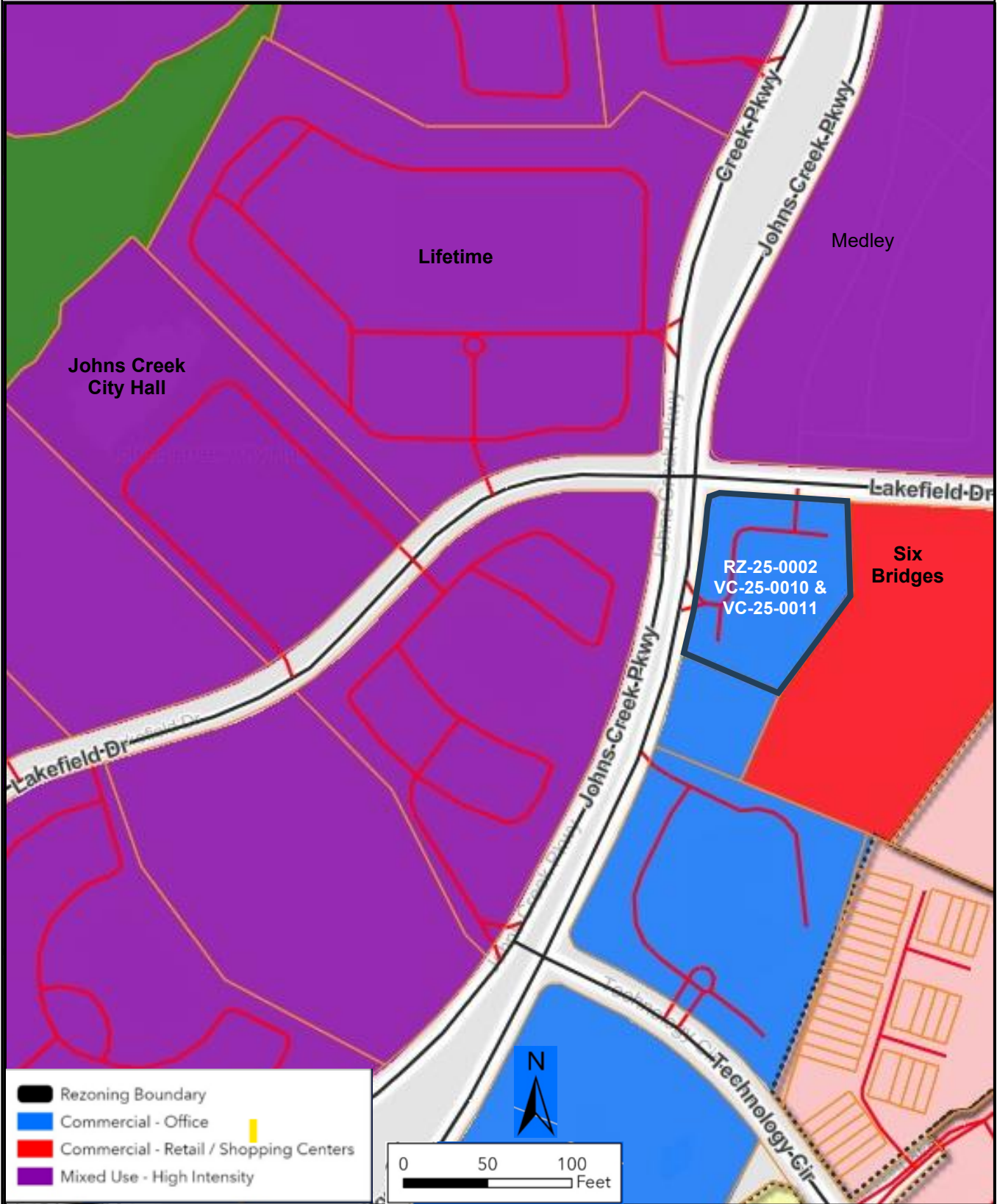


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VC-25-0011

 Rezoning Boundary

0 50 100
Feet

Adopted Future Land Use Map



PROJECT OVERVIEW

Location

The subject property is two acres in size and located at the southeast quadrant of the intersection of Johns Creek Parkway and Lakefield Drive. It is bounded by Lakefield Drive to the north, Johns Creek Parkway to the west, an undeveloped C-1(Community Business District) zoned parcel to the south, and commercial uses to the east (Six Bridges Brewery and Johns Creek Event Center).

Background

The subject property is currently zoned M-1A (Industrial Park District) Conditional pursuant to Fulton County zoning case 1983Z-0141. The use of the property is currently limited to “engineering, research and product development facilities and related operations including office, light assembly and fabrication; and storage and distribution as accessory uses related to the operation of such facilities.”



The subject property is currently improved with a 17,158-square-foot, one-story building, featuring 60 parking spaces and two vehicular access points – one full-access curb cut off Lakefield Drive and one right-in/right-out driveway off Johns Creek Parkway. The building is divided into four tenant suites (suites 100, 200, 300 and 400). Suite 200 is currently occupied by Cornerstone Financial Partners, LLC, while the remaining three suites are vacant.

Rezoning and Concurrent Variance Requests

The Applicant is requesting to rezone the property from M-1A (Industrial Park District) Conditional to the O-I (Office-Institutional) zoning district to allow for a private college to occupy suites 100 and 300 of the existing office building, with two concurrent variances:

1. VC-25-0010: Reduce required parking spaces from 77 to 60 spaces
2. VC-25-0011: Allow existing parking lot to encroach into the minimum front yard and side corner yard setbacks

Site Plan

The Applicant’s letter of intent states the property owner seeks to lease Suites 100 and 300, totaling 11,059 square feet, to two accredited sister college institutions: Virginia University of Integrative Medicine (VUIM), offering graduate-level programs in Acupuncture and East Asian Medicine; and Ivy College, offering associate and bachelor’s degree programs in Business Administration, Healthcare Management, and Cybersecurity. The Applicant proposes interior renovations to convert the existing layout to accommodate classrooms, clinics, and administrative offices. No modifications are proposed for the building’s exterior, parking lot, or landscape areas. The existing building setbacks and landscape strips will be maintained:

- **Building Setback:** 40-foot along Lakefield Drive and Johns Creek Parkway, 25-foot along south (rear) property line and 20-foot along east (side interior) property line.
- **Landscape Strip:** 25-foot along Lakefield Drive and Johns Creek Parkway and 10-foot along south and east property lines.

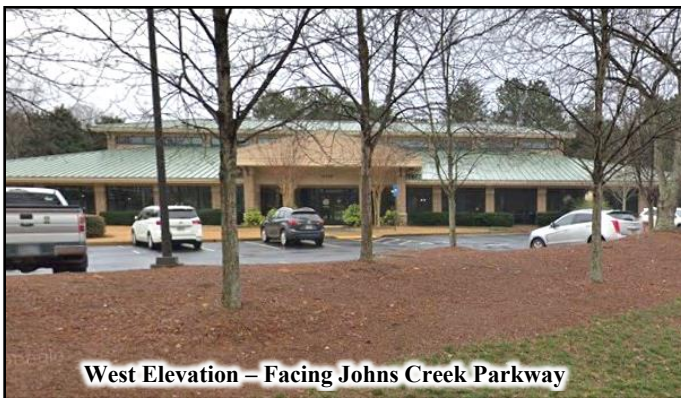
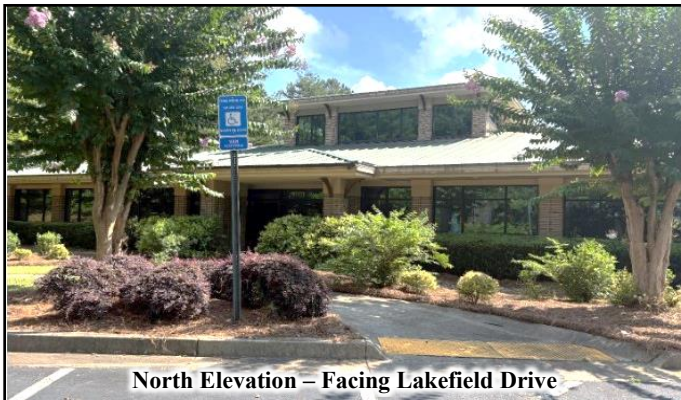
With the proposed construction of a roundabout at the intersection of Lakefield Drive and Johns Creek Parkway and its close proximity to the existing full-access driveway on Lakefield Drive, the access point is required to be converted to right-in/right-out access only.

Staff would note that the construction of the roundabout, required the dedication of additional right-of-way (shown in yellow), thus reducing the width of a portion of the landscape strip along Lakefield Drive from 25 feet to approximately 18.8 feet. Due to the landscape strip reduction being attributed to a city-initiated project, no variance is required for the reduction in the landscape strip.



Elevations

The existing building was constructed in the mid-1990s and underwent renovations in 2006. The exterior façade features brick veneer and glass and complies with the requirements of Section 12E.3.E of the Zoning Ordinance. The pitched roof design, along with architectural elements such as brick columns and tall glass windows, contributes to variation and visual interest in the building façade.



Public Participation

As part of the required land use petition process, property owners within one-quarter mile of the subject property were mailed notices in August 2025 for the public participation meeting. The meeting was held at the City Hall Council Chambers on September 4, 2025, and only one member of the general public attended the meeting. The attendee had general questions regarding the proposed college programs and had no concerns with the submitted rezoning application.

STANDARDS OF REZONING REVIEW

1. Will the proposal permit a use that is suitable in view of the use and development of adjacent and nearby property?

The presence of adjacent and nearby commercial, office, industrial, medical and institutional uses of similar scale and density within the Technology Park campus suggests the proposed development would be suitable at this location.

Adjacent & Nearby Properties	Zoning (Petition Number)	Land Use	Density (SF/Acre)
Application	Proposed: O-I	Commercial - Office (Financial Office, Private College)	8,579
Adjacent: South	C-1 Conditional (RZ-21-005)	Commercial (Vacant but zoned for Medical Office and Adult Daycare)	14,286
Adjacent: East	C-2 Conditional (RZ-21-001)	Commercial (Six Bridges, Event Center)	11,768
Adjacent: West (Across Johns Creek Pkwy)	M-1A Conditional (Z-83-141)	Commercial - Office (SAIA)	10,000
Adjacent: North (Across Lakefield Drive)	TC-X Conditional (RZ-24-0007)	Mixed Use (Medley)	7,432
Nearby: South	M-1A Conditional (Z-83-141)	Commercial - Office (Wegener Communications)	10,000
Nearby: Southwest	O-I Conditional (RZ-19-007)	Commercial - Office (Medical Offices)	10,577
Nearby: Southwest	O-I Conditional (RZ-22-0002, SUP-22-0001)	Commercial - Office (Office, Private School)	10,577

2. Will the proposal adversely affect the existing use or usability of adjacent or nearby property?

The proposed conversion of existing office space to a private college with classrooms and clinic would not adversely impact adjacent and nearby properties and would be in keeping with the mixture of existing commercial, office, institutional and industrial uses in the area. Moreover, the site will remain intact with no modification to the site’s exterior and will maintain all existing landscape strips and setbacks.

3. Does the subject property have a reasonable economic use as currently zoned?

The property appears to have a reasonable economic use as currently zoned.

4. Will the proposal result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools?

The inclusion of the proposed private colleges and existing office use would result in a lower overall traffic impact compared to using the entire 17,158 square-foot building exclusively for general office use. The total daily trip count is projected to decrease from 250 to 164 trips. Based on the estimated 40 students attending the colleges, the school alone is expected to generate approximately 62 daily trips, including 6 trips during the morning peak hour and 6 trips during the evening peak hour. With two sister colleges occupying more than half of the building, the proposed use would yield 86 fewer daily trips than general office use. Furthermore, the subject property benefits from access to two separate roads, providing multiple points of ingress and egress and minimizing the concentration of traffic on a single roadway, thereby further reducing potential congestion impacts.

Fulton County has confirmed that adequate water and sewer capacity is available to service the proposed development. The proposal is not anticipated to cause excessive or burdensome use of the existing streets, transportation facilities, or utilities.

5. Is the proposal in conformity with the policy and intent of the Comprehensive Plan including the land use element?

The subject property is located within the Technology Park Community Area, and the proposed development would be compliant with the Comprehensive Plan's Future Land Use map which indicates "commercial – office" for the subject property. Additionally, the proposed use aligns with the Comprehensive Plan's vision to "attract new private companies to Technology Park to ensure a strong economic future" by supporting "the expansion of businesses that include health innovation and wellness [...] which will complement the existing businesses located in Technology Park." The proposal would be in conformity with the policy and intent of the Comprehensive Plan.

6. Do existing or changed conditions affecting the use and development of the property give supporting grounds for either approval or disapproval of the proposal?

There are no additional conditions giving support for approval or disapproval of the proposal.

7. Does the zoning proposal permit a use which can be considered environmentally adverse to the natural resources, environment, and citizens of the City of Johns Creek?

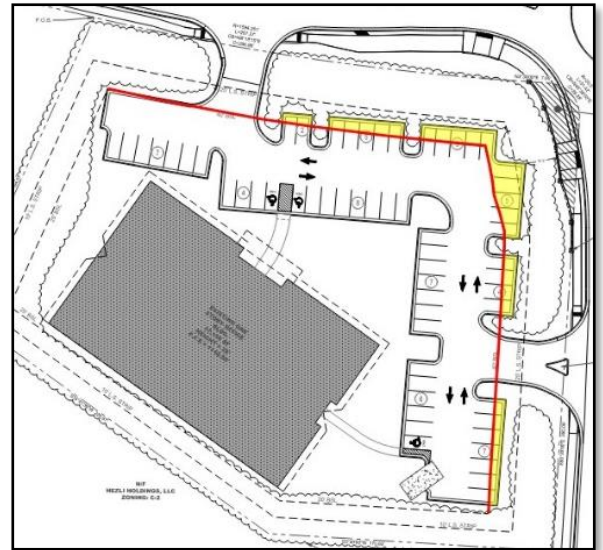
The proposed conversion of existing office space to allow private colleges would not adversely impact the environment, as no exterior modification or land development is proposed on the site. The property does not contain any environmentally sensitive features. The site has an underground detention facility to account for stormwater management for the site.

CONCURRENT VARIANCE ANALYSIS

Concurrent variance request, VC-25-0010, seeks to reduce the required number of parking spaces from 77 to 60. Per Section 18.2.1 of the Zoning Ordinance, parking requirements are calculated at one space per 200 square feet for college use and one space per 300 square feet for office use. The proposed colleges, occupying Suites 100 and 300, would require a total of 56 parking spaces, while the remaining Suites 200 and 400 retained for office use would require 21 spaces, resulting in a total parking requirement of 77 spaces. According to the Applicant's letter of intent, a maximum of 30 to 40 students will be on-site at any given time, along with approximately 10 faculty and administrative staff, requiring a maximum of 50 parking spaces to accommodate the college use. The existing office tenant currently utilizes five parking spaces daily. Given the limited number of students and staff, along with the staggered use of the property

between the college and office tenants, the proposed reduction in parking is anticipated to sufficiently accommodate the site's parking requirement without creating adverse impacts on other businesses or surrounding properties.

Concurrent variance request, VC-25-0011, seeks to allow the existing parking lot to encroach into the minimum 40-foot front yard and side corner yard setbacks (shown in red line). Per Section 18.3.1.D of the Zoning Ordinance, "no off-street parking shall be permitted within the required setback for the front yard and the side corner yard" in Office-Institutional (O-I) zoning districts. The Applicant does not propose any expansion of the building footprint or modification to the existing parking lot configuration. Due to the change in zoning from M-1A to O-I, this variance is necessary to maintain compliance with current zoning standards for the existing development. Staff finds that the requested parking lot encroachment (shown in yellow) into the minimum front yard and side corner yard building setbacks would not alter the existing site conditions and would remain consistent with the general purpose and intent of the Zoning Ordinance.



STAFF RECOMMENDATION

Based upon the findings and conclusions herein, Staff recommends **APPROVAL WITH CONDITIONS** of land use petition, RZ-25-0002, and concurrent variances, VC-25-0010 and VC-25-0011.

1. The property shall be limited to private college, office and institutional uses allowed in the O-I zoning district, at a maximum gross floor area of 17,158 square feet, with the following uses excluded: Assembly Halls, Convalescent Center, Day Care Facility, Nursing Home, Hospices, Funeral Home, Group Residence, Gymnasium, Health Club/Spas, Hotel/Motel, Parking Garage/Deck, Parking Lot, Personal Care Home, Recording Studio, and Thrift Institutions.
2. The site shall be developed in general accordance with the site plan received and date stamped October 14, 2025. Said site plan is conceptual and the final site plan must meet or exceed the land development regulations and zoning conditions prior to the issuance of a building permit.
3. Owner/Developer shall provide a minimum of 60 on-site parking spaces (VC-25-0010).
4. Encroachment of the existing parking lot shall be allowed into the minimum 40-foot front yard and side corner yard building setbacks as shown on the site plan received and date stamped October 14, 2025 (VC-25-0011).
5. Owner/Developer shall replant, where sparsely vegetated, and maintain the following landscape strips, according to the City's Tree Preservation Administrative Guidelines:
 - a. 40-foot landscape strip along Lakefield Drive and Johns Creek Parkway.
 - b. 10-foot landscape strip along the south and east property line.
6. Owner/Developer shall dedicate at no cost to the City of Johns Creek sufficient frontage on Lakefield Drive for roadway and operational improvements for the proposed roundabout construction, as

identified in the site plan received and date stamped October 14, 2025, subject to the approval of the Public Works Director, prior to the issuance of the building permit.

7. Owner/developer shall be limited to one right-in/right-out curb cut on Johns Creek Parkway and one right-in/right-out curb cut on Lakefield Drive, as shown on the site plan received and date stamped October 14, 2025, subject to approval of the Public Works Director.
8. No additional curb cuts shall be permitted on Lakefield Drive or Johns Creek Parkway.