

RECEIVED
OCTOBER 14, 2025
V-25-0007
 PLANNING AND ZONING
 CITY OF JOHNS CREEK

LEGEND

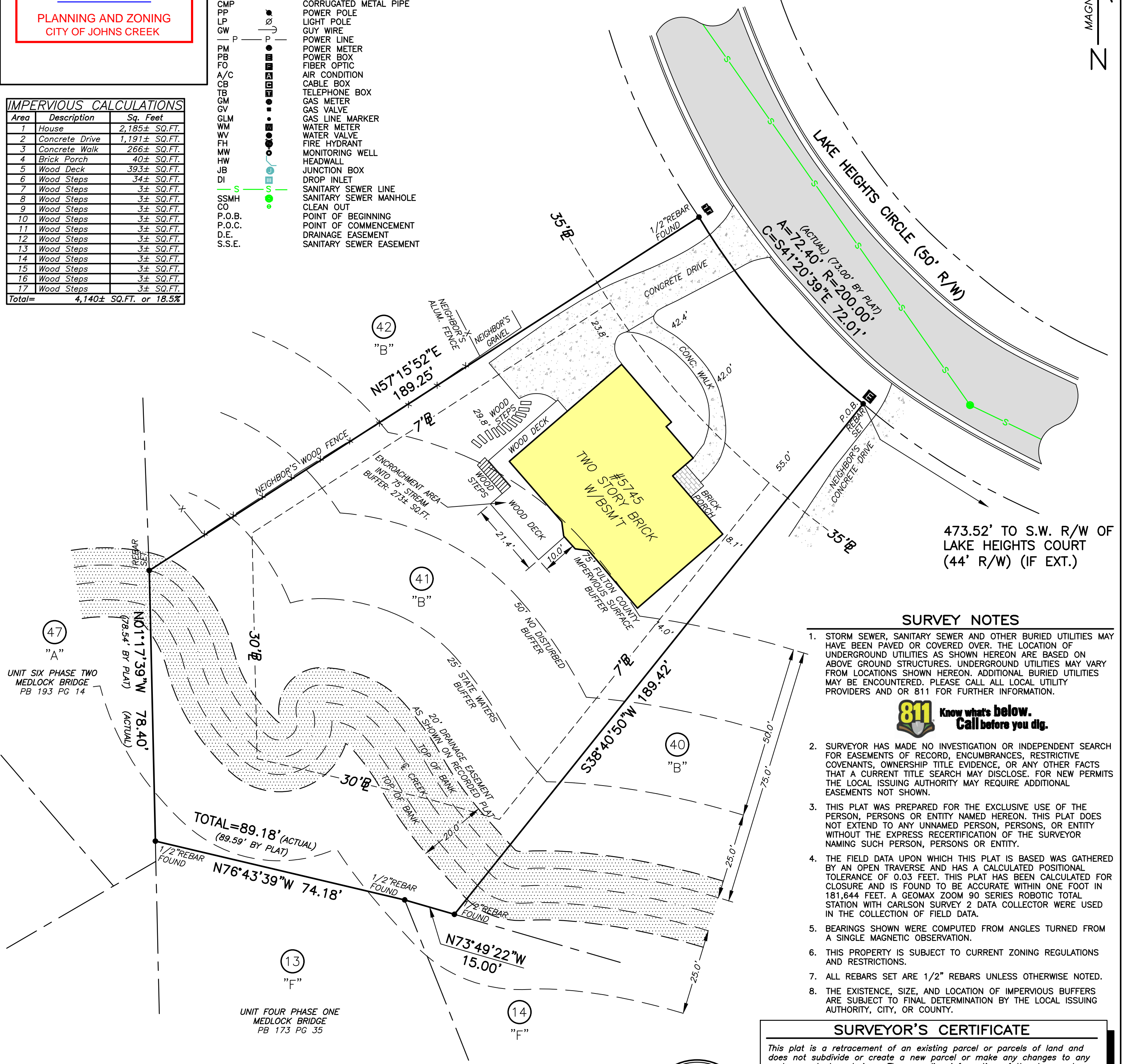
BL	BUILDING LINE
PL	PROPERTY LINE
R/W	RIGHT-OF-WAY
CL	CENTERLINE
BC	BACK OF CURB
G	GUTTER
EP	EDGE OF PAVING
TW	TOP OF WALL
BW	BOTTOM OF WALL
X	FENCE
RCP	REINFORCED CONCRETE PIPE
CMP	CORRUGATED METAL PIPE
PP	POWER POLE
LP	LIGHT POLE
GW	GUY WIRE
P	POWER LINE
PM	POWER METER
PB	POWER BOX
FO	FIBER OPTIC
A/C	AIR CONDITION
CB	CABLE BOX
TB	TELEPHONE BOX
GM	GAS METER
GV	GAS VALVE
GLM	GAS LINE MARKER
WM	WATER METER
WV	WATER VALVE
FH	FIRE HYDRANT
MW	MONITORING WELL
HW	HEADWALL
JB	JUNCTION BOX
DI	DROP INLET
S	SANITARY SEWER LINE
SSMH	SANITARY SEWER MANHOLE
CO	CLEAN OUT
P.O.B.	POINT OF BEGINNING
P.O.C.	POINT OF COMMENCEMENT
D.E.	DRAINAGE EASEMENT
S.S.E.	SANITARY SEWER EASEMENT

ZONING INFORMATION
 CITY OF CITY OF JOHNS CREEK - R-4A
 CASE NO. Z85-64, Z91-056, & Z57-184
 MINIMUM LOT AREA: 12,000 SQUARE FEET
 MINIMUM LOT WIDTH: 85 FEET AT BUILDING LINE
 MINIMUM FRONT SETBACK: 35 FEET
 CORNER SETBACK: 20 FEET
 MINIMUM SIDE SETBACK: 7 FEET (15 FEET B/W BUILDING)
 MINIMUM REAR SETBACK: 50 FEET
 MUST BE VERIFIED BY CITY OF JOHNS CREEK PRIOR TO CONSTRUCTION.

NO.	REVISIONS	DATE	RB
1	REVISE ZONING	10-10-25	GJ
2	ADDRESSED CLIENT COMMENTS	10-10-25	GJ

IMPERVIOUS CALCULATIONS

Area	Description	Sq. Feet
1	House	2,185± SQ.FT.
2	Concrete Drive	1,191± SQ.FT.
3	Concrete Walk	266± SQ.FT.
4	Brick Porch	40± SQ.FT.
5	Wood Deck	393± SQ.FT.
6	Wood Steps	34± SQ.FT.
7	Wood Steps	3± SQ.FT.
8	Wood Steps	3± SQ.FT.
9	Wood Steps	3± SQ.FT.
10	Wood Steps	3± SQ.FT.
11	Wood Steps	3± SQ.FT.
12	Wood Steps	3± SQ.FT.
13	Wood Steps	3± SQ.FT.
14	Wood Steps	3± SQ.FT.
15	Wood Steps	3± SQ.FT.
16	Wood Steps	3± SQ.FT.
17	Wood Steps	3± SQ.FT.
Total=		4,140± SQ.FT. or 18.5%



473.52' TO S.W. R/W OF LAKE HEIGHTS COURT (44' R/W) (IF EXT.)

SURVEY NOTES

- STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES. UNDERGROUND UTILITIES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. PLEASE CALL ALL LOCAL UTILITY PROVIDERS AND OR 811 FOR FURTHER INFORMATION.
- SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT A CURRENT TITLE SEARCH MAY DISCLOSE. FOR NEW PERMITS THE LOCAL ISSUING AUTHORITY MAY REQUIRE ADDITIONAL EASEMENTS NOT SHOWN.
- THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECERTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS OR ENTITY.
- THE FIELD DATA UPON WHICH THIS PLAT IS BASED WAS GATHERED BY AN OPEN TRAVERSE AND HAS A CALCULATED POSITIONAL TOLERANCE OF 0.03 FEET. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 181,644 FEET. A GEOMAX ZOOM 90 SERIES ROBOTIC TOTAL STATION WITH CARLSON SURVEY 2 DATA COLLECTOR WERE USED IN THE COLLECTION OF FIELD DATA.
- BEARINGS SHOWN WERE COMPUTED FROM ANGLES TURNED FROM A SINGLE MAGNETIC OBSERVATION.
- THIS PROPERTY IS SUBJECT TO CURRENT ZONING REGULATIONS AND RESTRICTIONS.
- ALL REBAR SET ARE 1/2" REBAR UNLESS OTHERWISE NOTED.
- THE EXISTENCE, SIZE, AND LOCATION OF IMPERVIOUS BUFFERS ARE SUBJECT TO FINAL DETERMINATION BY THE LOCAL ISSUING AUTHORITY, CITY, OR COUNTY.



SURVEYOR'S CERTIFICATE

This plat is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plats, or other instruments which created the parcel or parcels are stated hereon. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Regulation for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.

Michael R. Noles

Michael R. Noles Georgia RLS No. 2646 9-23-25



FLOOD NOTE

THIS PROPERTY IS NOT LOCATED IN A FEDERAL FLOOD AREA AS INDICATED BY F.I.R.M. OFFICIAL FLOOD HAZARD MAPS. THE FLOOD INFORMATION ON THIS PLAT HAS BEEN DETERMINED AFTER REVIEW OF MAPS WHICH ONLY APPROXIMATE THE LOCATION OF THE APPLICABLE FLOOD HAZARD AREA. FOR MORE ACCURATE INFORMATION, A SECOND OPINION OF THE APPLICABLE FLOOD HAZARD AREA IS RECOMMENDED. FOR FURTHER INFORMATION CONTACT THE LOCAL DRAINAGE DEPARTMENT, CORPS OF ENGINEERS, AN INSURANCE COMPANY OR APPRAISER.

REFERENCE MATERIAL

- WARRANTY DEED IN FAVOR OF JOSHUA GERTZ AND BARRI GERTZ DEED BOOK 54059 PAGE 52 FULTON COUNTY, GEORGIA



McClung Surveying Services, Inc.
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 Smyrna, Georgia 30080 (770) 434-3383
 www.mcclungsurveying.com Certificate of Authorization #LSF000752

SURVEY FOR
JOSHUA GERTZ

5745 LAKE HEIGHTS CIRCLE
 JOHNS CREEK, GEORGIA
 TOTAL AREA= 0.513± ACRES
 OR 22,356± SQ. FT.

LOT 41 BLOCK "B"
 UNIT SIX ~ PHASE THREE
 MEDLOCK BRIDGE



LAND LOT 303
 1ST DISTRICT 1ST SECTION
 FULTON COUNTY, GEORGIA
 PLAT PREPARED: 9-23-25
 FIELD: 9-22-25 SCALE: 1"=20'
 JPB#267106