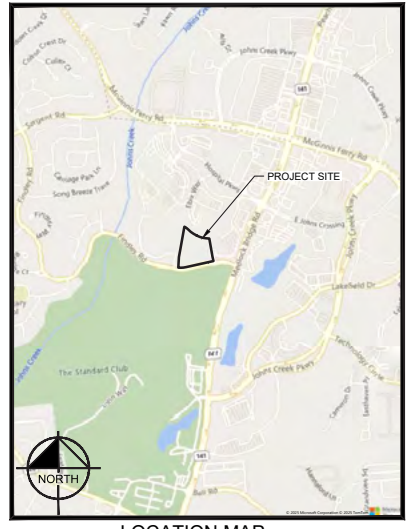


Drawing name: K:\ALP_PRA\017054000_Memory Center, Johns Creek\CADD\Exhibits\2025-08-25 Owner Change to Emory\C2-00 - Site Plan Exhibit.dwg C2-00 Aug 28, 2025 4:24pm by: Griffin,Clower



LOCATION MAP
NOT TO SCALE

N/F
EHCA DUNWOODY, LLC
DB 38231 PG 512
ZONING: 0-1

FIRE LANE NOTES:

THE EXISTING ROUNDABOUT TO BE USED AS A FIRE LANE SHALL HAVE SIGNS POSTED MEETING THE FOLLOWING CRITERIA:

1. SIGNS TO READ "NO PARKING FIRE LANE"
2. LETTERS SHALL NOT BE LESS THAN TWO INCHES IN HEIGHT. ONE SIGN SHALL BE POSTED AT THE BEGINNING OF THE FIRE LANE AND ONE AT THE END OF THE FIRE LANE. EACH SIGN SHALL BE ERRECTED NOT MORE THAN 75 FEET APART.
3. SIGNS POSTED SHALL NOT BE MORE SHAN FOUR FEET FROM THE EDGE OF CURB AND SHALL BE VISIBLE FROM BOTH DIRECTIONS OF THE DRIVING SURFACE.

THE FIRE ACCESS DRIVE TURN-AROUNDS TO BE USED AS A FIRE LANE SHALL MEET THE FOLLOWING CRITERIA:

1. MOUNTABLE CURB TO BE INSTALLED ALONG ENTIRE LENGTH OF ONE-WAY FIRE LANE. SEE SHEET C6-00 FOR DETAIL.
2. FIRE LANE CURB LINE MARKINGS SHALL BE PROVIDED PER CITY OF JOHNS CREEK FIRE MARSHAL. CURB SHALL BE PAINTED RED WITH STENCILING OF "NO PARKING - FIRE LANE" AT 30 FEET MAXIMUM SPACING.

PARKING SUMMARY:

EXISTING USE:	CONVALESCENT CARE 48 HOUSING UNITS (35,361 SF)
REQUIRED PARKING:	1 PER 4 BEDS + 1 PER 3 EMPLOYEES = (96 BEDS)(0.25) + (50 EMPLOYEES)(0.33)
	41 SPACES TOTAL
PARKING PROVIDED:	62
ADA SPACES REQUIRED:	14 (3 VAN ACCESSIBLE)

PAVEMENT LEGEND:

STANDARD DUTY ASPHALT PAVEMENT

STANDARD DUTY CONCRETE PAVEMENT

REFERENCE SHEET C6-00 FOR RECOMMENDED ASPHALT AND CONCRETE PAVEMENT SECTIONS.

SITE NOTES:

ADDRESS: 12050 FINDLEY ROAD
CITY OF JOHNS CREEK, GA 30097

ZONING: 0-1 CONDITIONAL

BUILDING HEIGHT: 1 STORY

SITE AREA: 7.69 ACRES

DISTURBED AREA: 5.30 ACRES

BUILDABLE AREA: 264,843 SF (79.1%)

UNBUILDABLE AREA: 70,110 SF (20.9%)

BUILDING SETBACK: FRONT YARD: 40 FT
SIDE YARD: 20 FT
REAR YARD: 25 FT

FRONT LANDSCAPE STRIP: 25 FT
SIDE AND REAR LANDSCAPE STRIP: 10 FT

1. THE BUILDING INFORMATION SHOWN HEREON IS FROM AN ELECTRONIC FILE PROVIDED BY NELSON-TREMAIN PARTNERSHIP DATED 09-30-2015 AND IS FOR ILLUSTRATED PURPOSES ONLY. CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT BUILDING INFORMATION.
2. ALL DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
3. SIDEWALK INSTALLED AGAINST BACK OF CURB SHALL BE INSTALLED PER THE PLAN AS MEASURED FROM THE BACK OF CURB.
4. ALL SIGNAGE AND STRIPING MUST MEET THE LATEST REQUIREMENTS SET FORTH BY MUTCD, GDOT, AND GEORGIA STATE CODE.
5. REFERENCE LANDSCAPE PLANS FOR ALL HARDSCAPE AND LANDSCAPE DETAILS AND SPECIFICATIONS.
6. A GEORGIA CERTIFICATE OF OCCUPANCY HOLDER FOR AUTOMATIC SPRINKLER SYSTEMS WILL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF THE UNDERGROUND SUPPLY PIPING.
7. FIRE HYDRANTS ON THE PROPERTY SIDE OF THE CHECK VALVE SHOULD BE KNOWN AS PRIVATE HYDRANTS. THESE HYDRANTS SHALL BE MAINTAINED BY THE PROPERTY OWNER. THESE HYDRANTS SHALL BE PAINTED RED. CITY OF JOHNS CREEK REGULATIONS; SECT. 12.3.5 C, 2011 ED., AND NFPA 25, 2011 ED. AS AMENDED BY THE GEORGIA STATE FIRE MARSHAL'S OFFICE.
8. INSTALLATION AND REPAIR OF UNDERGROUND FIRE SPRINKLER WATER SUPPLIES SHALL BE PERFORMED BY A UTILITY, SPRINKLER, OR PLUMBING CONTRACTOR LICENSED BY THE STATE OF GEORGIA FIRE MASHAL'S OFFICE UNDER TITLE 25, CHAP. 11; SECT. 25-11-7
9. SEPARATE PERMITS ARE REQUIRED FOR RETAINING WALLS AND SIGNAGE.

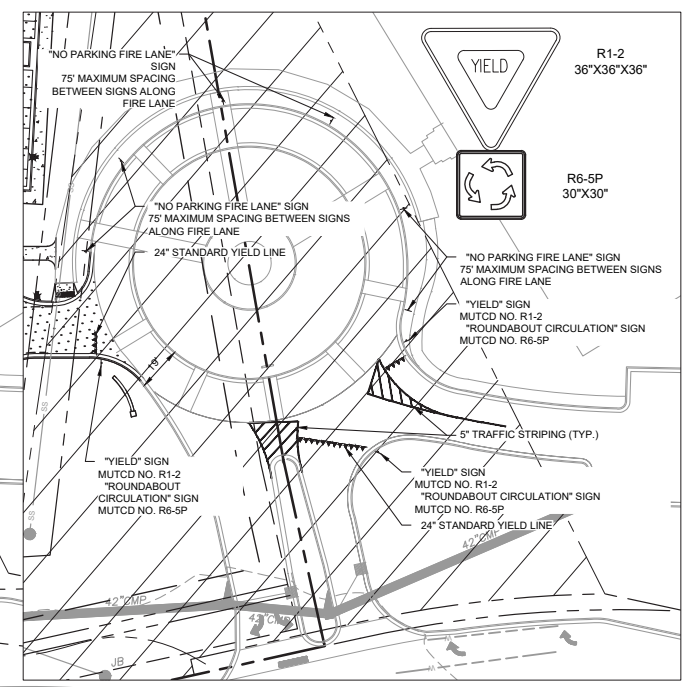
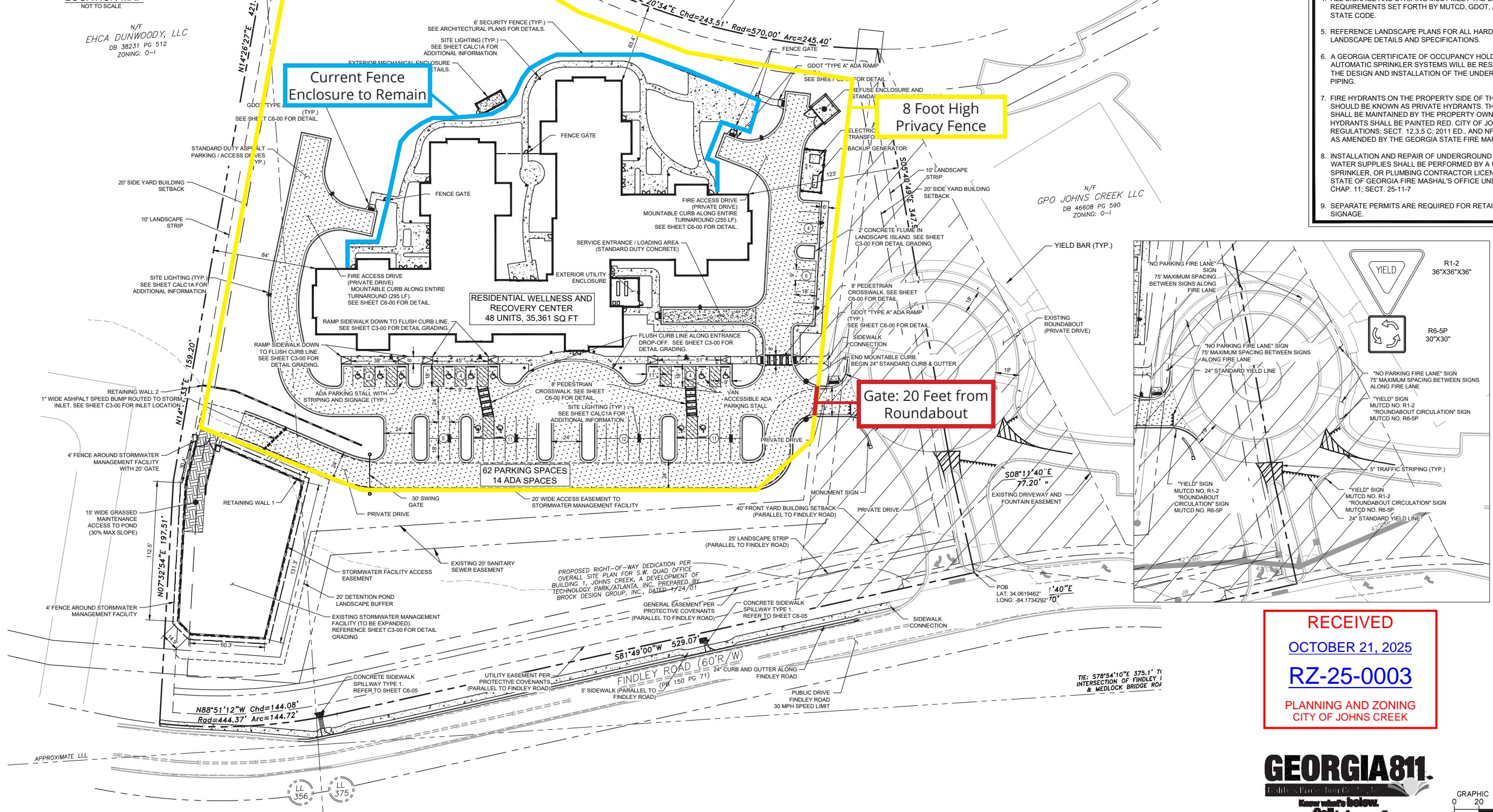
SCALE:	AS SHOWN
DRAWN BY:	KLF
DESIGNED BY:	LDC
CHECKED BY:	BBW

CLIENT: EMORY JOHNS CREEK HOSPITAL
6325 HOSPITAL PKWY., JOHNS CREEK, GA 30097

PROJECT: RESIDENTIAL WELLNESS AND RECOVERY CENTER
12050 FINDLEY ROAD, PARCEL #11 08000762027, LAND LOTS 336 AND 376 CITY OF JOHNS CREEK, GEORGIA 30097

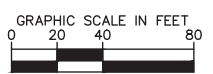
TITLE: SITE PLAN

DATE: 08/25/2025
PROJECT NUMBER: 017054000
SHEET NUMBER: C2-00



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OCTOBER 21, 2025
RZ-25-0003
PLANNING AND ZONING
CITY OF JOHNS CREEK

GEORGIA811
Know what's below. Call before you dig.



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